

HARLOW RANCH APTS

Rancho Cordova, CA

ENTITLEMENT SET

PROJECT NO. 1450-0002

November 29 2023

PROJECT DESCRIPTION

The project site is south of Chrysanthy Blvd, and east of Sunrise Blvd. The project site consists of APN 067-0430-018.

Site Characteristics. The 11.12 acre project site is roughly square in shape, and vacant.

- Surrounding Uses. Multi-family development is planned to the east of the proposed project, but it is currently vacant. Treatment plant is to the south of the proposed project.
- General Plan and Zoning Designations. In the General Plan, Parcel is designated Commercial Mixed Use (CMU). In zoning, the parcel is designated General Commercial (GC).

Proposed Project. The proposed project is an apartment community with 236 total units which have access to indoor and outdoor amenities, parking, and landscaping. A mix of one, two, and three bedroom units are organized into 10 three story buildings arranged around the site. Additionally, the site includes a clubhouse/amenity building, garage buildings and supportive pool building. The total conditioned area is 257,769 SF, total non-conditioned area is 72,306 SF, total garage area is 31,355 SF, and total deck/patio area is 21,503 SF.

Residential Units. The project will include a mix of one, two and three bedroom apartment homes ranging from 763 sf to 1,275 sf. The floorplans include a full kitchen, living space, bedroom(s), bathroom(s), indoor storage, and laundry closet.

Amenities. Community amenities developed include a 5,990 SF one-story clubhouse/amenity building in the center of the site with lounge areas, large screen television, zoom meeting rooms, co-working, fitness room, restrooms, and leasing office. Outdoor amenities feature a swimming pool, spa, lounge, and shade structures adjacent to the pool. The site will also include outdoor patio with seating, covered outdoor kitchen with barbeque counter, sink, tables, and a television. In addition to the clubhouse, the site features a supportive pool building with long-term indoor bike storage, outdoor restrooms & showers for pool-goers, and a pet spa. East of the Pool there is an open turf area. East of the pool building there is a double-gated dog park and pet relief area.

Design Concept. The project design adheres to the Rancho Cordova Multi-family Design Guidelines, ensuring compliance with local standards and regulations. The proposed concept features buildings in Mediterranean style with dynamic and vibrant facades, adding visual interest to the community. The selected building materials, such as stone veneer, stucco, concrete roof tiles, and painted steel railings, contribute to a timeless and durable aesthetic.

The placement of stone veneer and the traditional balconies on the building elevations creates an engaging sense of movement, adding visual interest to the massing and form of the three-story buildings. The use of a vibrant roof line further breaks down the overall mass, enhancing the architectural composition and creating a dynamic facade.

PROJECT TEAM

Owner:

TEKIN & ASSOCIATES
2600 Dallas Parkway, Suite 370
Frisco, TX 75034

Attn: Alicia Baker
Tel: (469) 458-0485 (Ext 4)
Email: abaker@tekindevelopment.com

Architect:

LPAS, Inc.
723 S Street
Sacramento, CA 95811

Attn: Chris Kelly
Tel: (916) 443-0335
Email: ckelly@lpas.com

Landscape Architect:

PO BOX 2275
Oakdale, CA 95361

Attn: Sam Harned
Tel: (209) 380-7376
Email: sam@harnedla.com

Civil Engineer:

CARTWRIGHT NOR CAL
3010 Lava Ridge Court, Suite 160
Roseville, CA 95661

Attn: Andrew MacDonald
Tel: (916) 978-4001
Email: andrewm@cartwrightengineers.com

SHEET INDEX

GENERAL

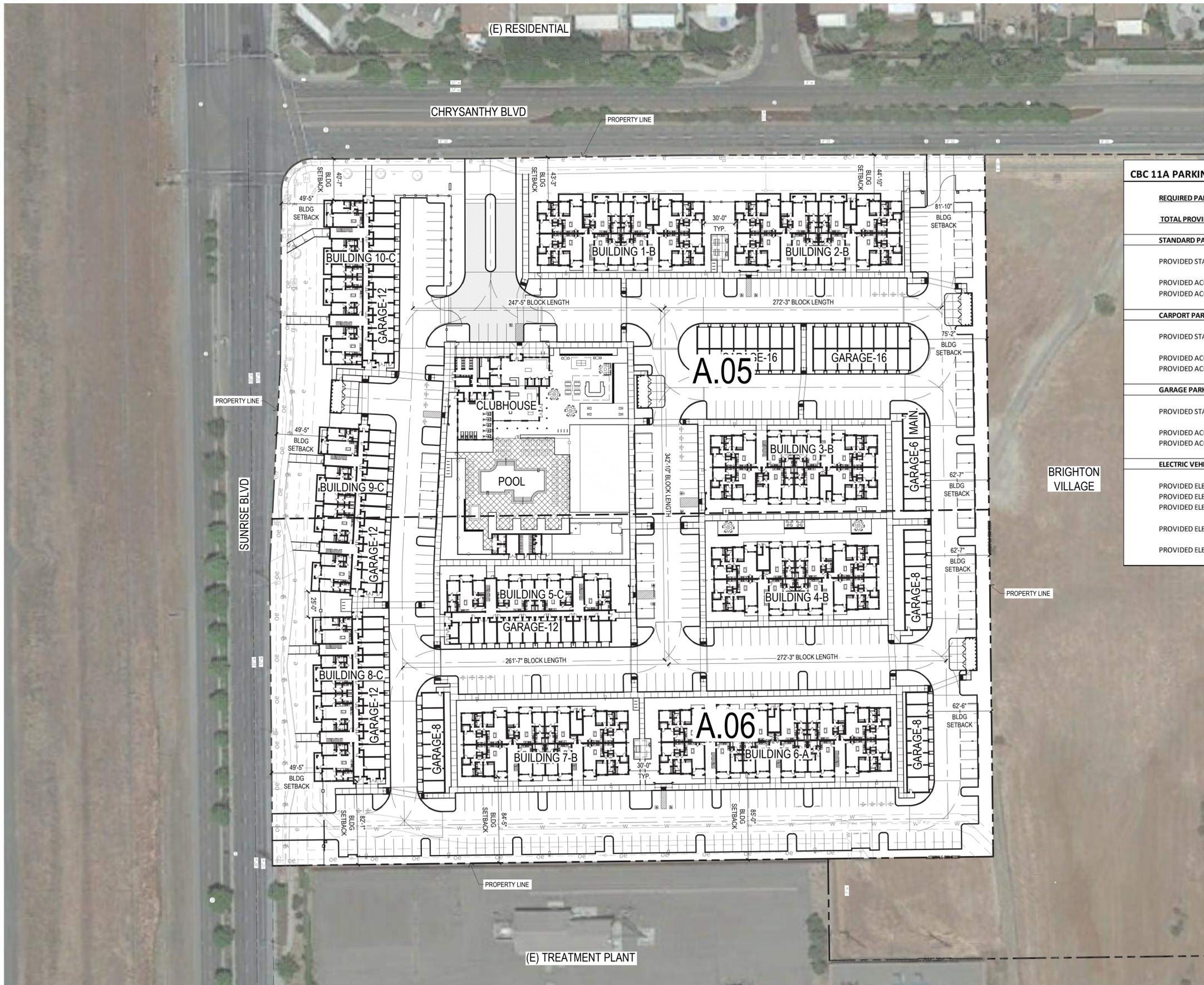
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LANDSCAPE

L.01	CONCEPTUAL LANDSCAPE PLAN
L.02	CONCEPTUAL LANDSCAPE PLAN

LAND USE AND DEVELOPMENT STANDARDS				PROPOSED PROJECT DATA SUMMARY			
LAND USE:				LAND USE:			
General Plan:	CMU (Commercial Mixed Use)			General Plan:	CMU (Commercial Mixed Use)		
Zoning:	GC (General Commercial)			Zoning:	GC (General Commercial)		
APN:	067-0430-018			APN:	067-0430-018		
LAND USE:				LAND USE:			
Existing Land Use:	Vacant			Proposed Use:	Multi-Family Residential		
SITE AREA:				SITE AREA (COMBINED):			
Net Site Area:	484,387 SF	11.12 Acres		Net Site Area:	437,445 SF	10.04 Acres	
	484,387 SF	11.12 Acres		Net Site Area:	437,445 SF	10.04 Acres	
DENSITY AND NUMBER OF UNITS				DENSITY AND NUMBER OF UNITS			
	CMU (Commercial Mixed Use)			1 Bedroom:	63 Units	26.7%	763 Ave SF
	GC (General Commercial)			2 Bedroom:	93 Units	39.4%	1,088 Ave SF
	APN: 067-0430-018			3 Bedroom:	80 Units	33.9%	1,275 Ave SF
Max Number of Units:	200 Units			Total Number of Units:	236 Units	100.0%	1,119 Ave SF
Max Allowable Density:	18 DU/Acre			Density:	23.5 DU / Net Acre		
BUILDING AREA AND FAR				BUILDING AREA AND FAR			
	GC (General Commercial)						
Max Allowable FAR (General Plan):	1.5			Building Summary:	No.	Gross Area:	
Max Allowable SF:	726,581 SF			Residential Building A:	1	41,200 SF	41,200 SF 36 Units
				Residential Building B:	5	29,500 SF	147,500 SF 24 Units
				Residential Building C:	4	25,475 SF	101,900 SF 20 Units
				Clubhouse:		5,990 SF	5,990 SF
				Pool Building:		1,600 SF	1,600 SF
				Maintenance:		530 SF	530 SF
				Total Gross Area (Without Parking):		298,720 SF	
				FAR:		0.68	
				Garage Buildings including Tuck under Garages:		31,355 SF	
				Total Gross Area (With Parking):		330,075 SF	
				Total Net Rentable Area:		251,249 SF	
				Overall Efficiency:		84%	
				Total Conditioned Area:	257,769 SF		(Net rentable + Clubhouse + Maint)
				Total Non-conditioned Area:	72,306 SF		
				Total Patio/Deck Area:	21,503 SF		
SETBACKS:				SETBACKS:			
	GC (General Commercial)						
Front:	Chrysanthy Blvd	min		Front:	0 FT	Max	
Street side-yard:	Sunrise Blvd	25 FT		Street side-yard:	0 FT	30 FT	
Interior side yard:	Vacant Lot (Residential)	25 FT		Interior side yard:	0 FT	0 FT	
Rear yard:	Community Services (CS)	0 FT		Rear yard:	10 FT	10 FT	
				Front - Chrysanthy Blvd:		35'-6"	
				Street side-yard - Sunrise Blvd:		40'-0"	
				Interior side-yard - Brighton Village (Residenti		62'-0"	
				Rear - Community Services (CS):		63'-6"	
HEIGHT LIMIT AND STORIES:				HEIGHT LIMIT:			
	GC (General Commercial)						
Max Height Limit:	100 FT			Proposed Building Height:	43'-7"	FT	(To Top Ridge)
OPEN SPACE				OPEN SPACE			
Private Open Space Required:	PATIOS	120 SF/UNIT		Ground Floor Patios:	120 SF / Unit		
	UPPER DECKS	60 SF/UNIT		Second Floor Decks:	65-77 SF / Unit		
				Third Floor Decks:	80-95 SF / Unit		
Common Open Space:		50 SF/UNIT		Common Open Space:	191 SF / Unit		
PARKING REQUIRED:				PARKING PROVIDED:			
Vehicular Parking Required:				Vehicular Parking Provided:			
1 Bdr	1 Spaces / Unit	63 Spaces		Garages:	110 Spaces		
2 Bdr	2.0 Spaces / Unit	186 Spaces		Carpports:	63 Spaces		
3 Bdr	2.0 Spaces / Unit	160 Spaces		Surface:	300 Spaces		
Guest	0.2 Spaces / Unit	16 Spaces		Total:	473 Spaces		2.00 Spaces / Unit
Total:	1.80 Spaces / Unit	425 Spaces					
				Parking Detail Included Above:			
				Accessible Spaces:	12 Spaces	>2%	
				EV Spaces:	192 Spaces	41%	
				EV Charging Spaces:	24 Spaces	5%	
				EV Ready Spaces:	120 Spaces	25%	
				EV Capable Spaces:	48 Spaces	10%	
BIKE PARKING REQUIRED:				BIKE PARKING PROVIDED:			
Per City Zoning:	GC (General Commercial) & CMU (Commercial Mixed Use):			Long-Term:	24 Spaces		
Long Term:	0.05 Spaces /Motorized vehicle p	24 Spaces		Short Term:	48 Spaces		
Short Term:	0.10 Spaces /Motorized vehicle p	47 Spaces					

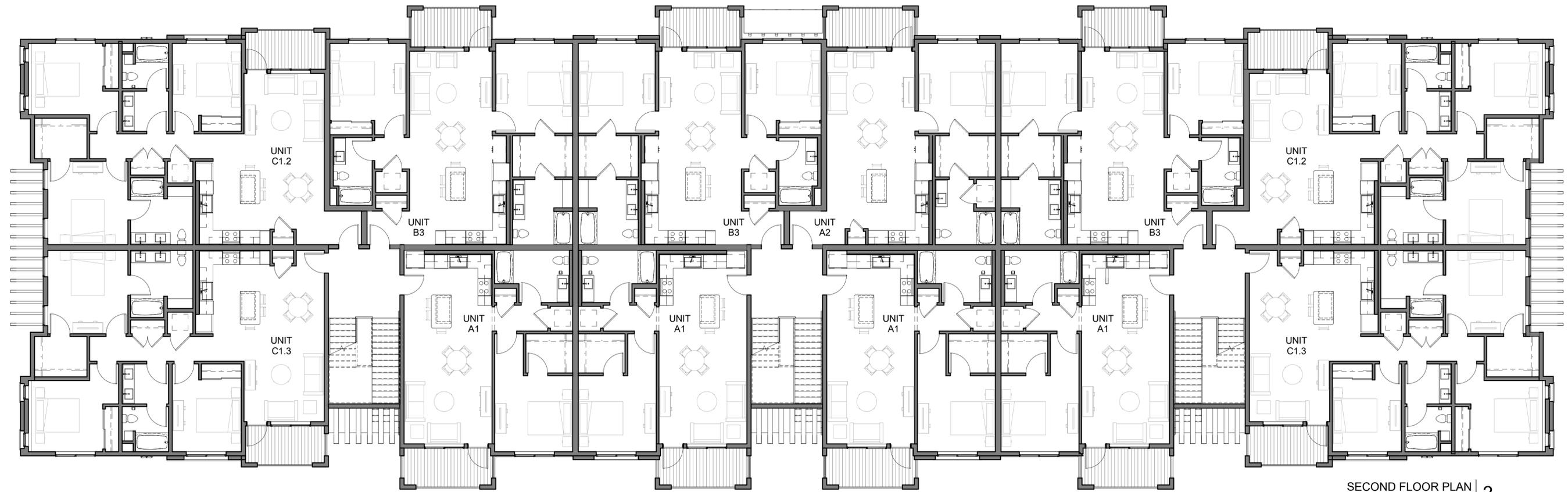




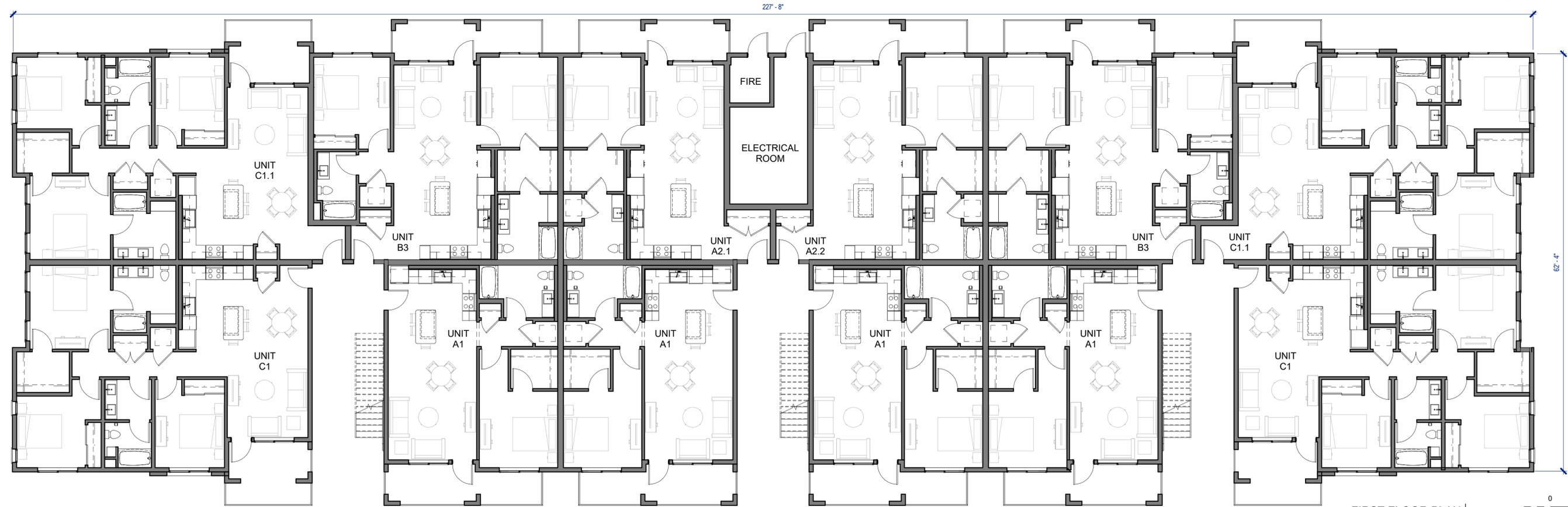
CBC 11A PARKING SUMMARY:

REQUIRED PARKING BY CITY CODE:	425	STALLS		
TOTAL PROVIDED PARKING:	473	STALLS		
STANDARD PARKING STALLS:				
PROVIDED STALLS	300	STALLS	REQUIRED ACCESSIBLE PARKING	6 STALLS
PROVIDED ACCESSIBLE VAN	1	STALLS		
PROVIDED ACCESSIBLE STANDARD	6	STALLS		
CARPORT PARKING STALLS:				
PROVIDED STALLS	63	STALLS	REQUIRED ACCESSIBLE PARKING	2 STALLS
PROVIDED ACCESSIBLE VAN	1	STALLS		
PROVIDED ACCESSIBLE STANDARD	1	STALLS		
GARAGE PARKING STALLS:				
PROVIDED STALLS	110	STALLS	REQUIRED ACCESSIBLE PARKING	3 STALLS
PROVIDED ACCESSIBLE VAN	3	STALLS		
PROVIDED ACCESSIBLE STANDARD		STALLS		
ELECTRIC VEHICLE PARKING:				
PROVIDED ELECTRIC CHARGING STATIONS	24	STALLS	REQUIRED ELECTRIC CHARGING STATIONS	24 STALLS
PROVIDED ELECTRIC VAN ACCESSIBLE	1	STALLS	REQUIRED ELECTRIC ACCESSIBLE	2 STALLS
PROVIDED ELECTRIC STANDARD ACCESSIBLE	1	STALLS		
PROVIDED ELECTRIC VEHICLE READY	120	STALLS	REQUIRED ELECTRIC VEHICLE READY	119 STALLS
PROVIDED ELECTRIC VEHICLE CAPABLE	48	STALLS	REQUIRED ELECTRIC VEHICLE CAPABLE	48 STALLS

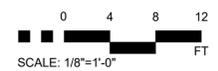


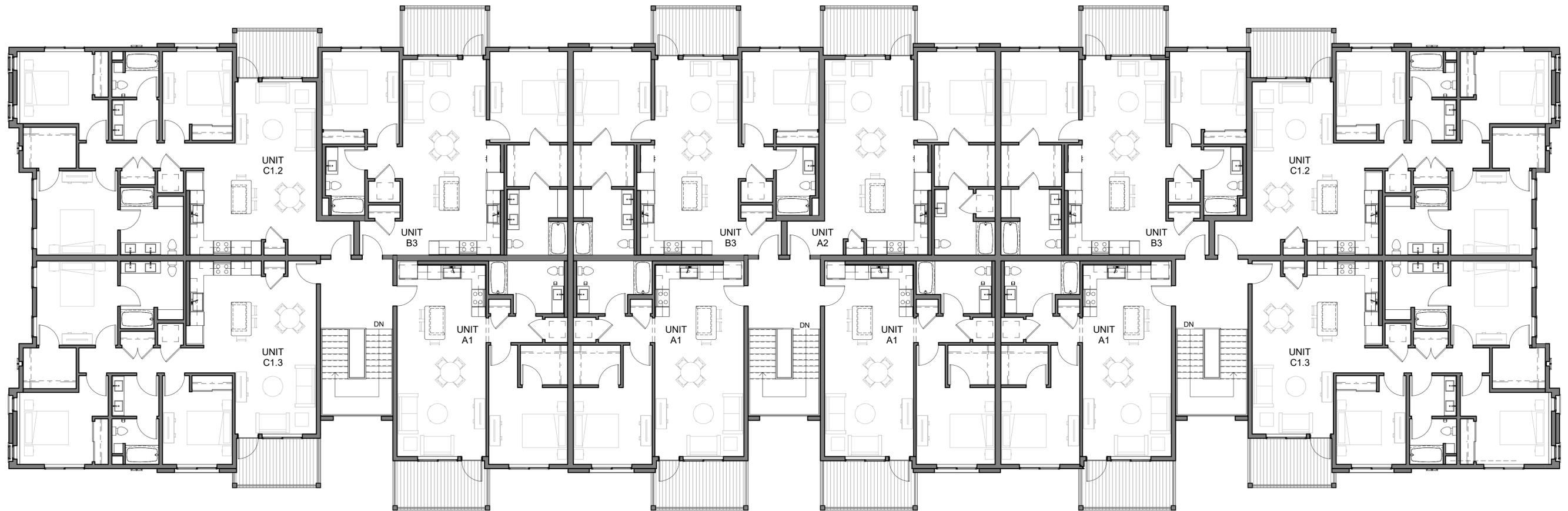


SECOND FLOOR PLAN | 2
1/8" = 1'-0"

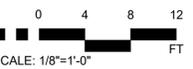


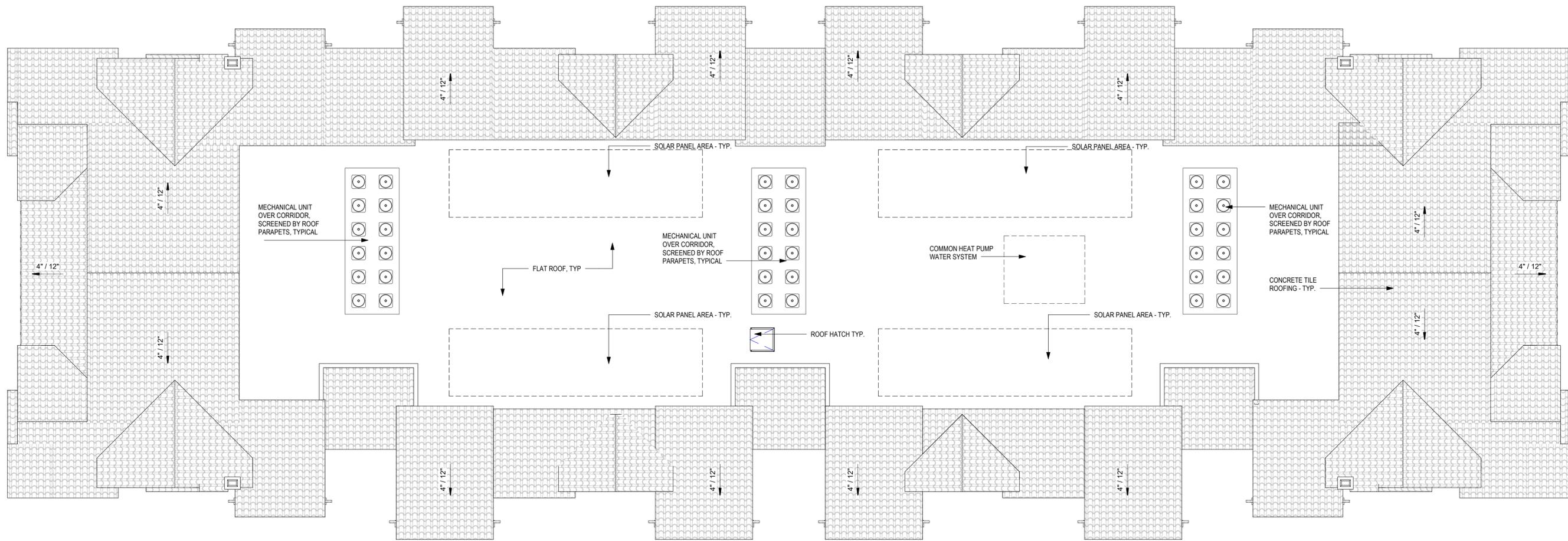
FIRST FLOOR PLAN | 1
1/8" = 1'-0"



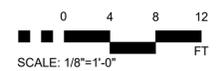


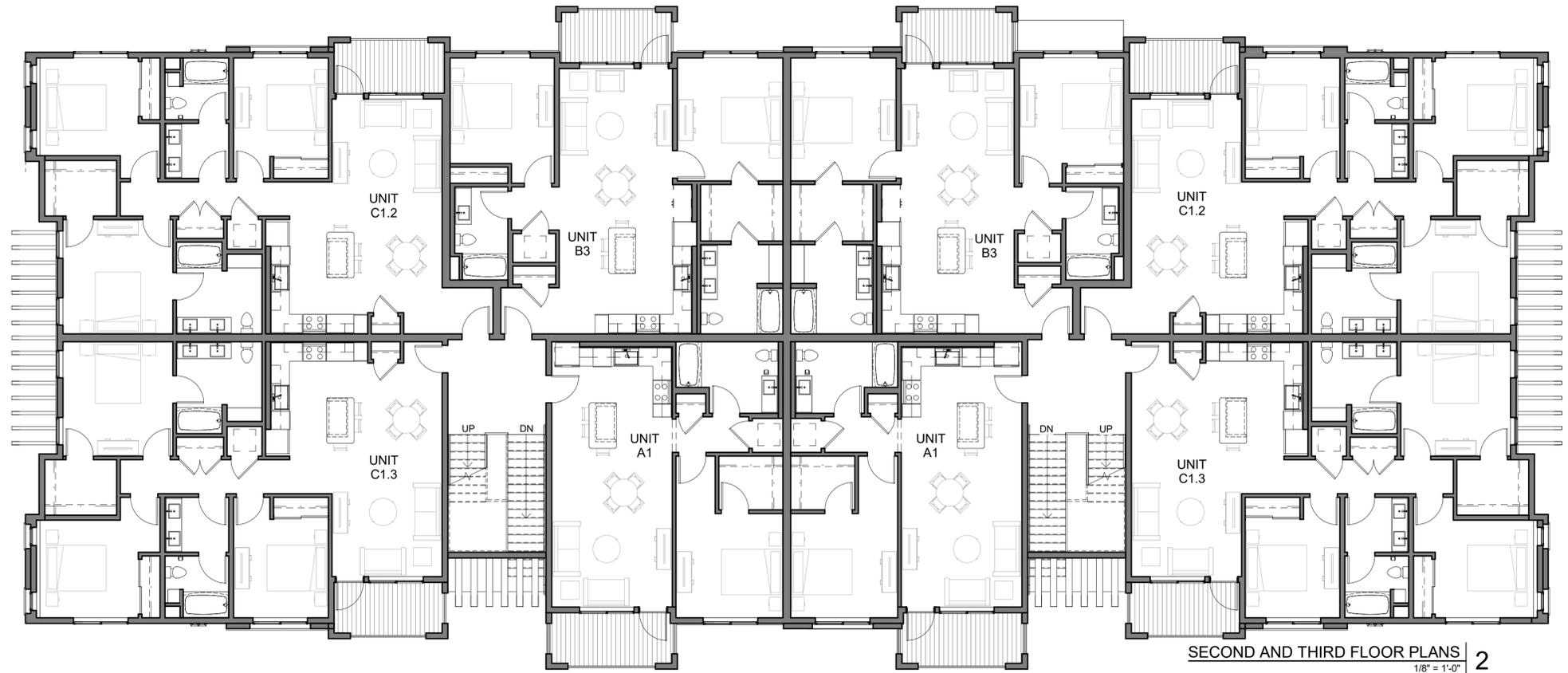
THIRD FLOOR PLAN | 1
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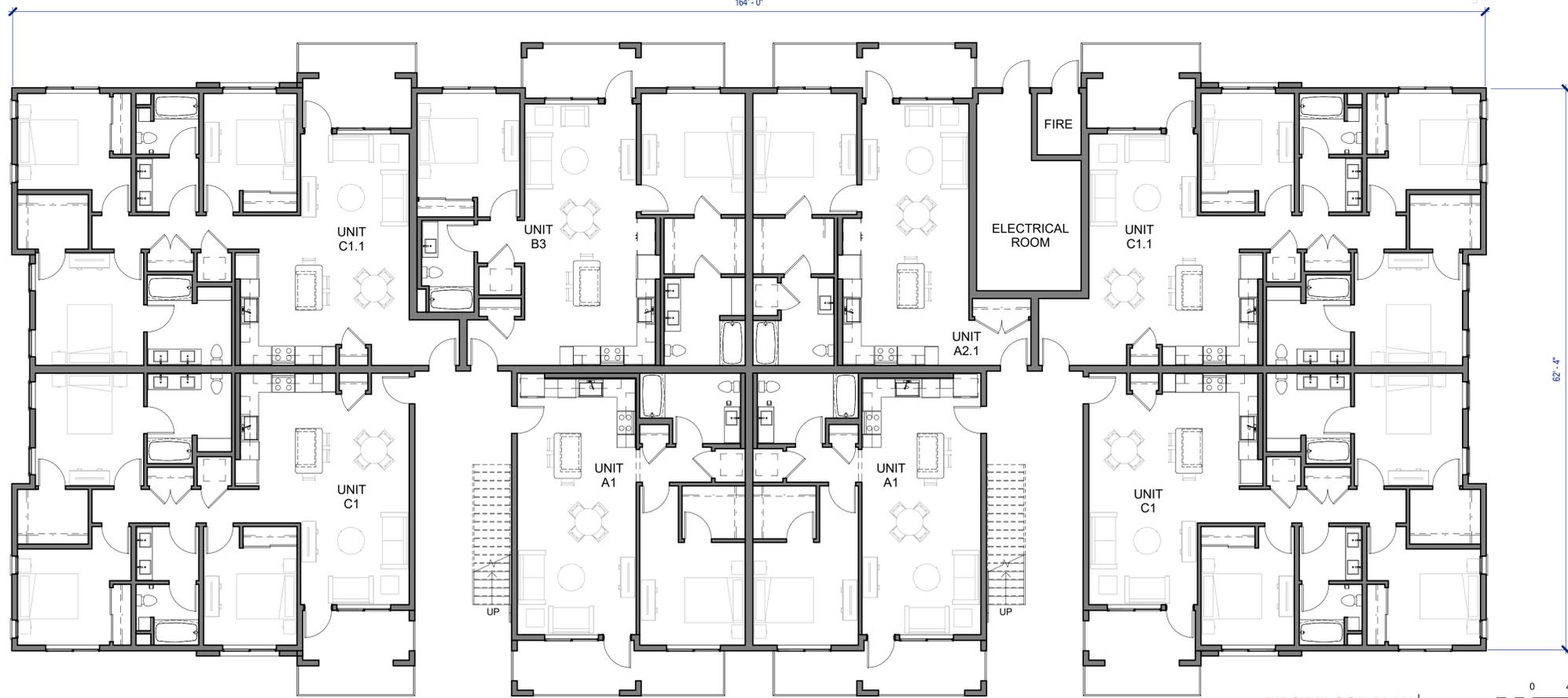


ROOF PLAN | 1
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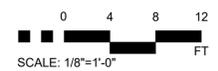


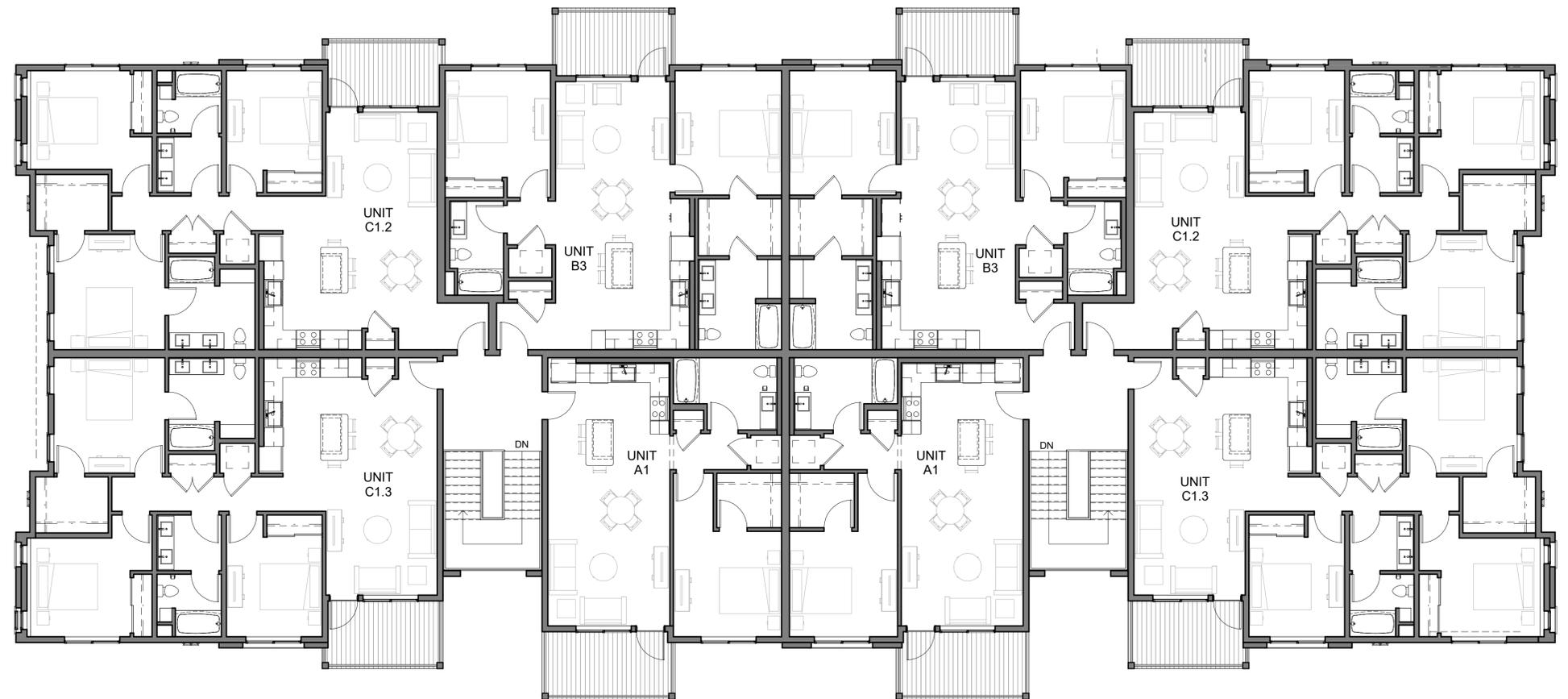


SECOND AND THIRD FLOOR PLANS | 2
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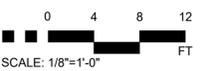


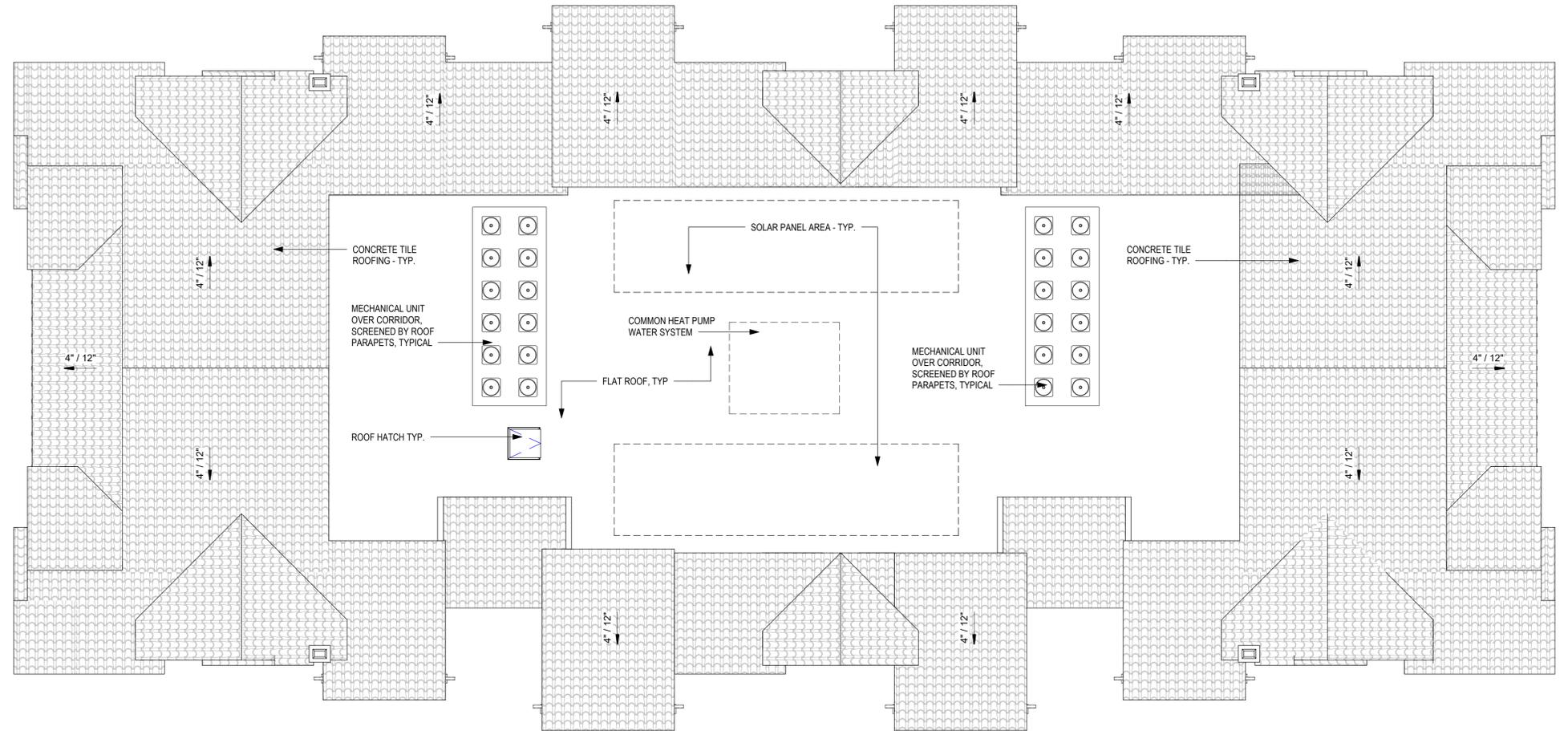
FIRST FLOOR PLAN | 1
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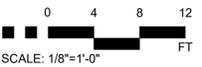


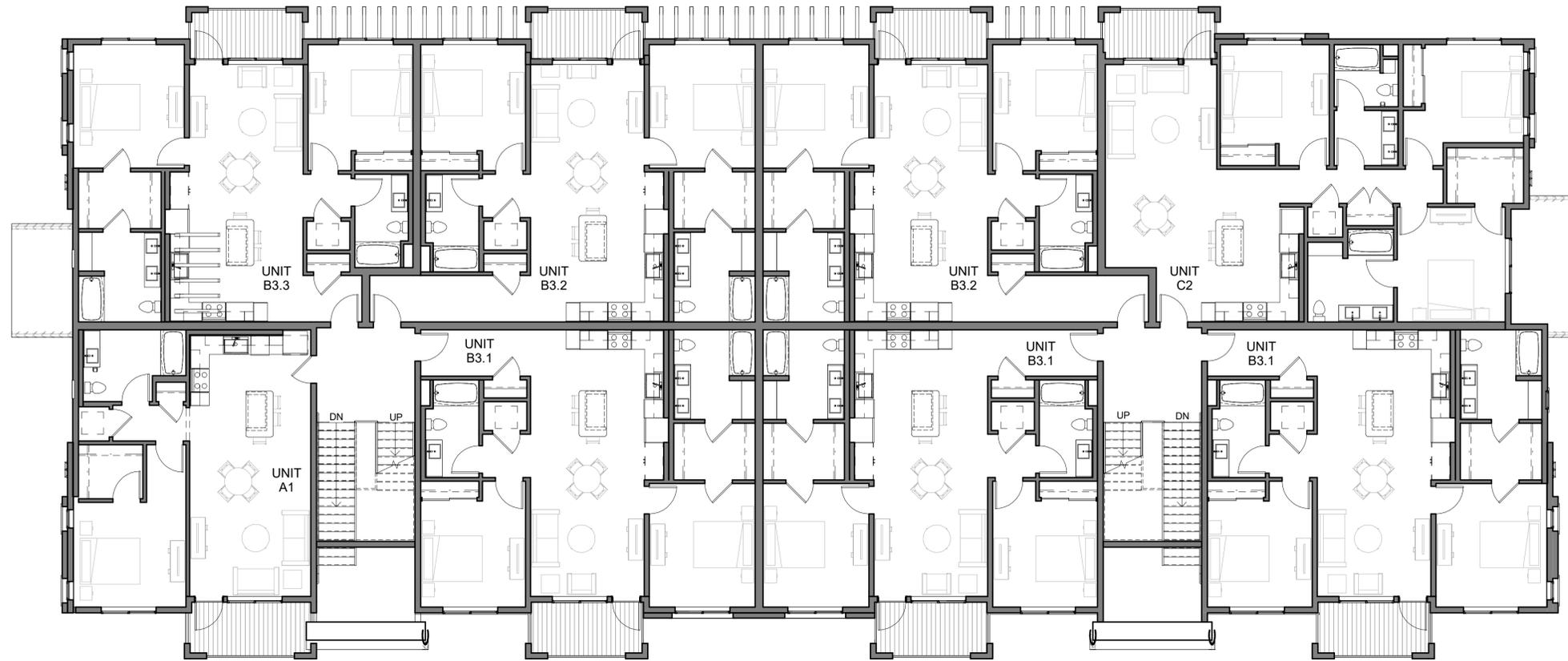
THIRD FLOOR PLAN | 1
1/8" = 1'-0"





ROOF PLAN | 1
1/8" = 1'-0"

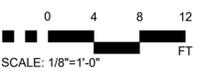


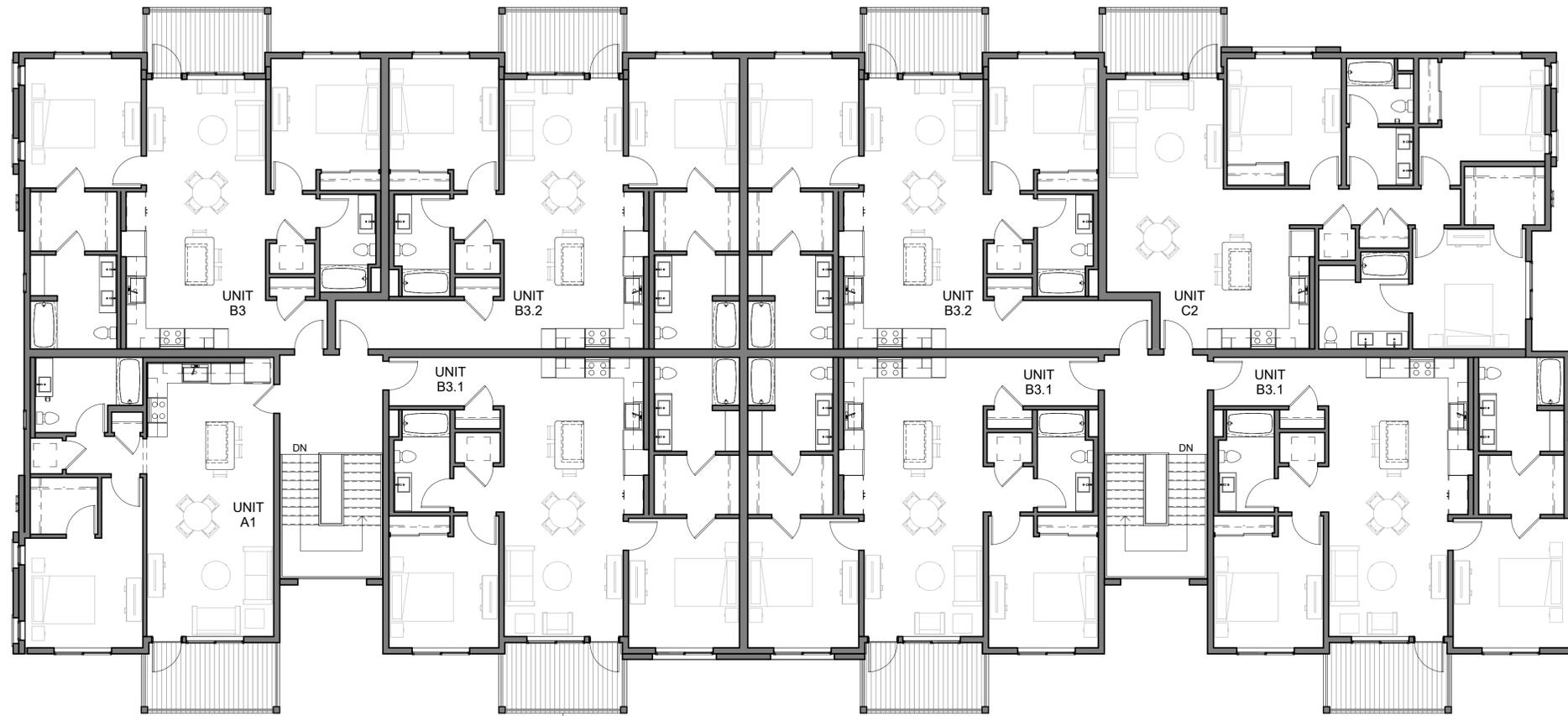


SECOND FLOOR PLAN | 2
1/8" = 1'-0"

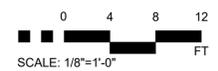


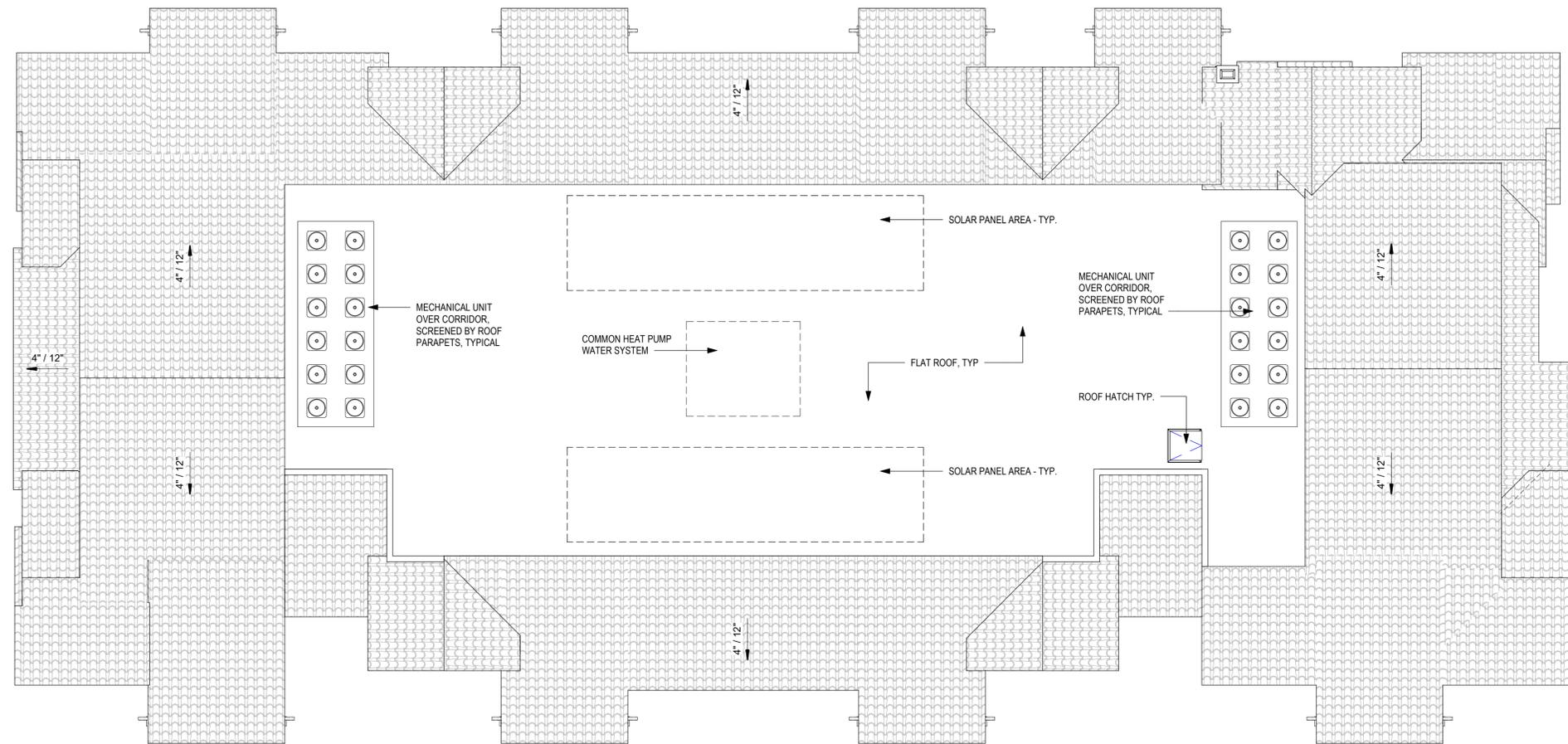
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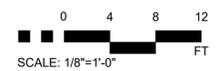


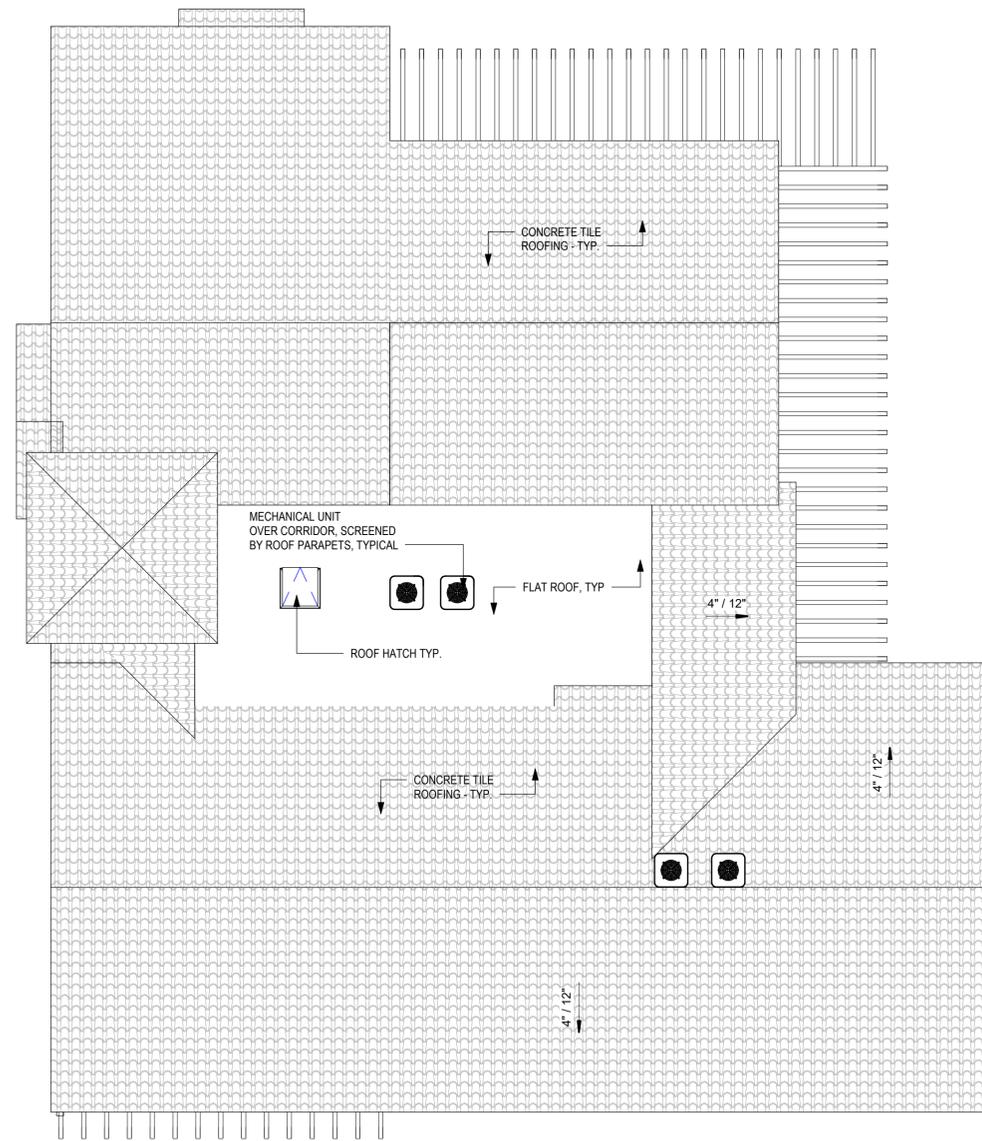
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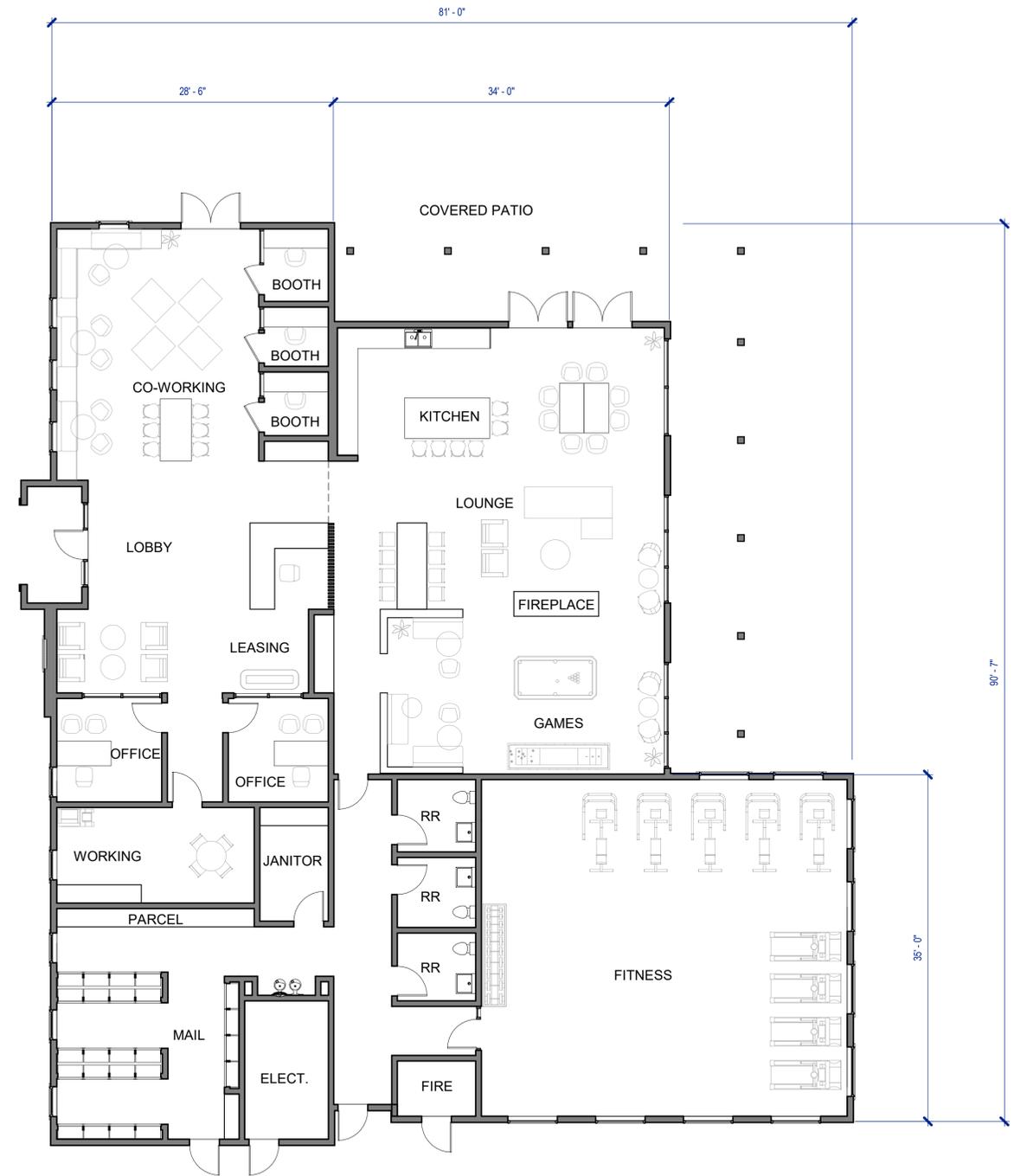


ROOF PLAN | 1
1/8" = 1'-0"

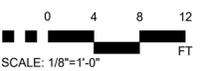


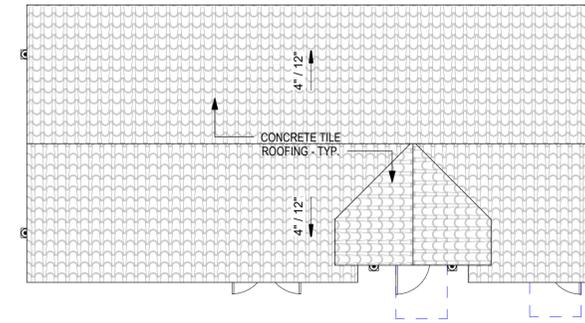


CLUBHOUSE - ROOF PLAN | 2
1/8" = 1'-0"

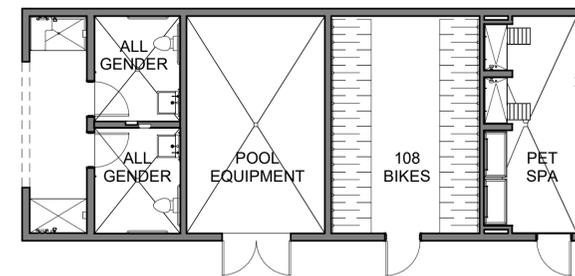


CLUBHOUSE FLOOR PLAN | 1
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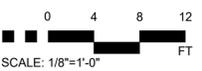


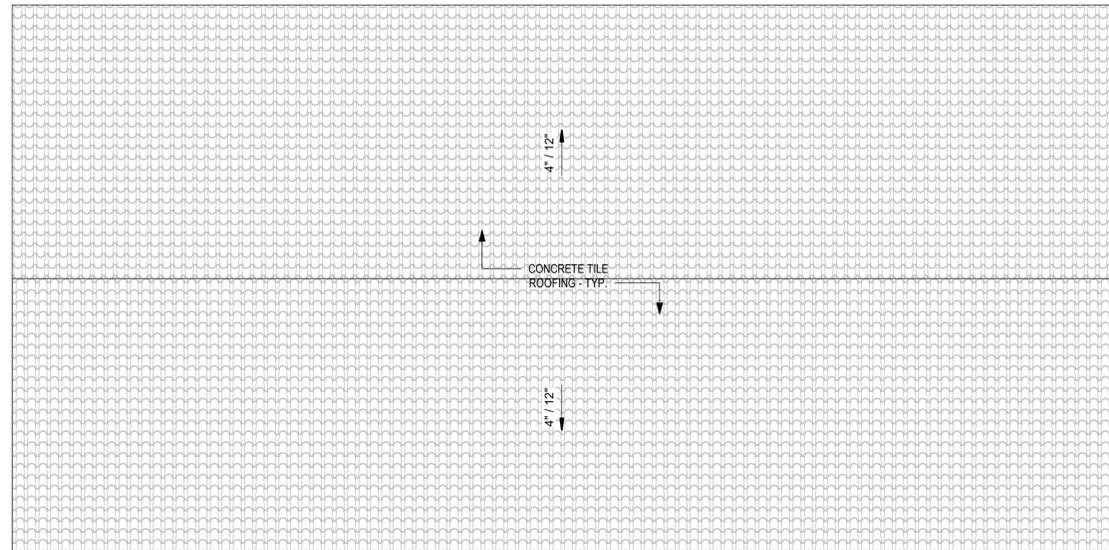


POOL BUILDING ROOF PLAN | 2
1/8" = 1'-0"

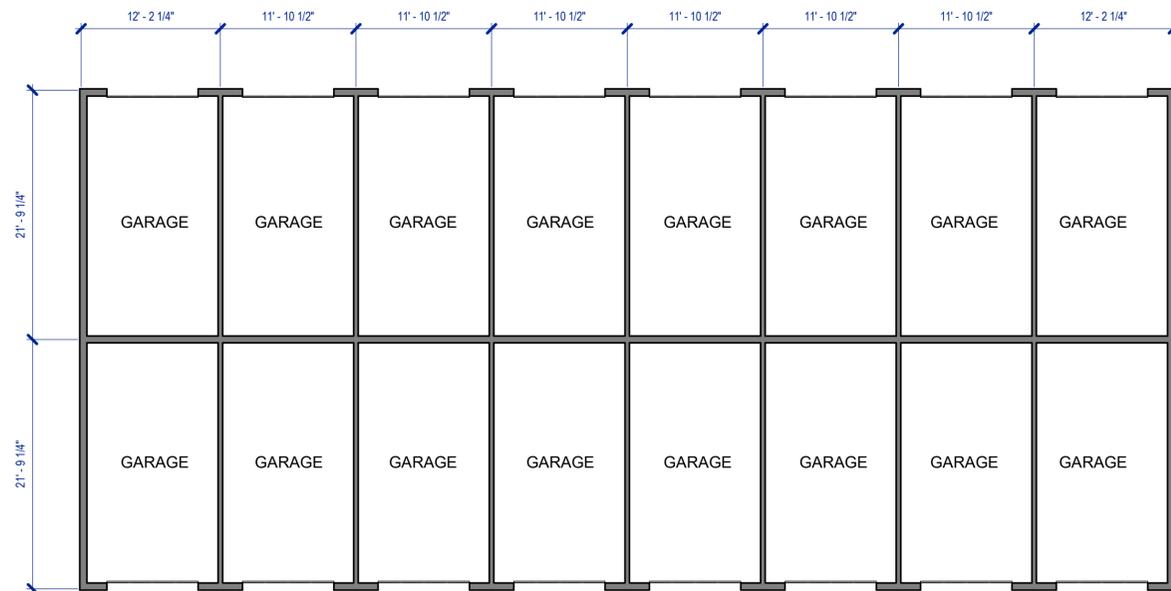


POOL BUILDING | 1
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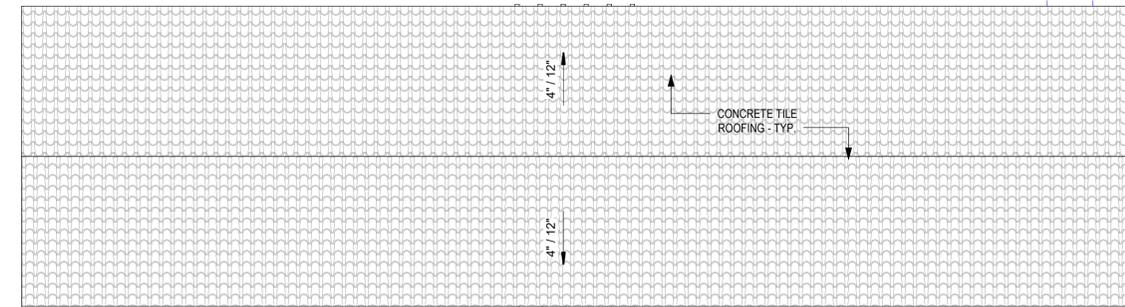




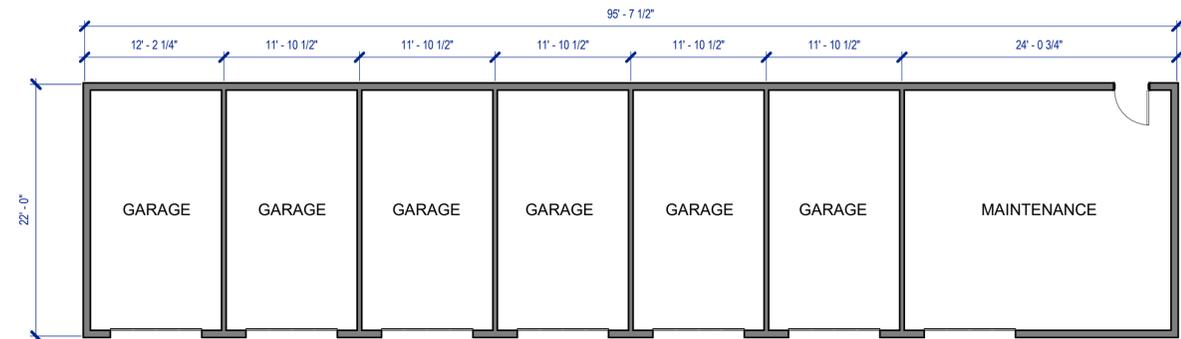
16 CAR GARAGE ROOF PLAN
1/8" = 1'-0" 6



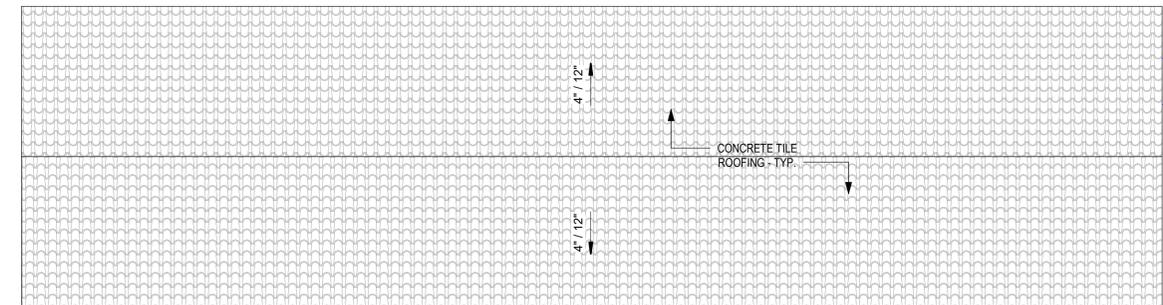
16 CARS GARAGE FLOOR PLAN
1/8" = 1'-0" 5



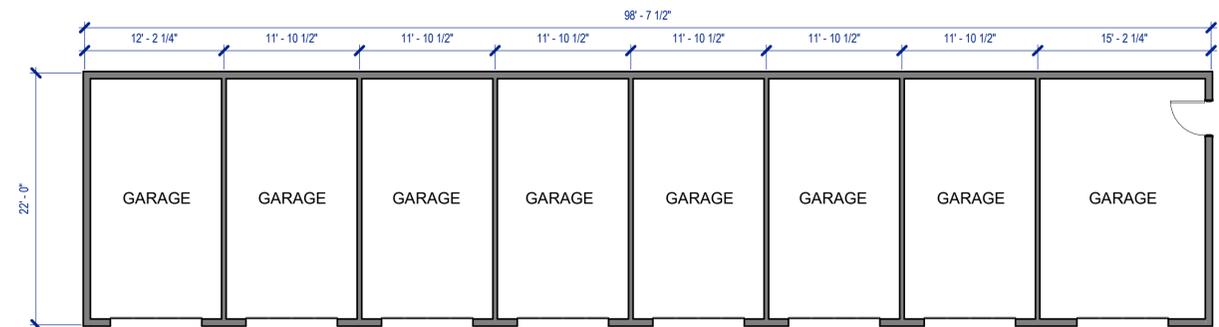
7 CAR GARAGE ROOF PLAN Copy 1
1/8" = 1'-0" 4



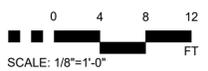
7 CARS GARAGE FLOOR PLAN
1/8" = 1'-0" 3



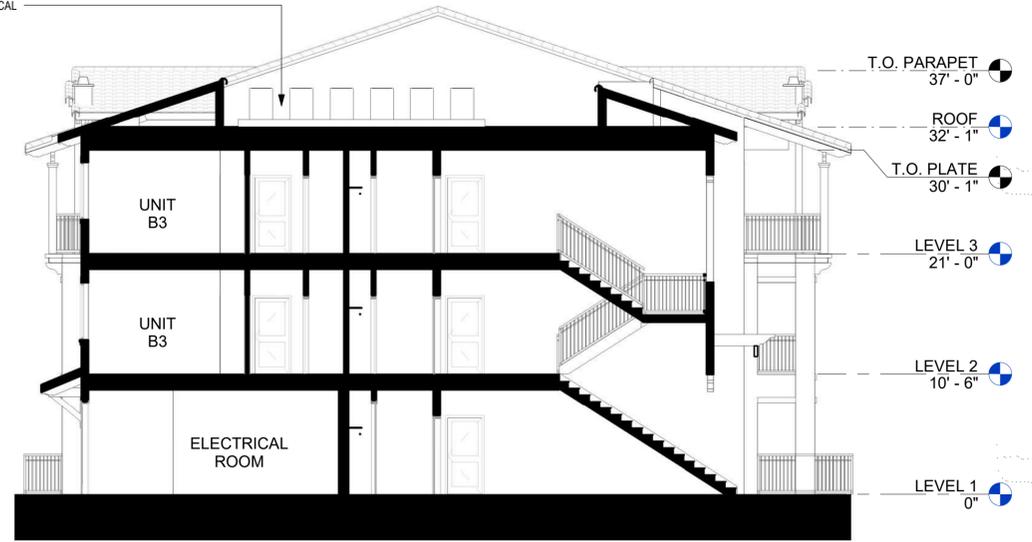
8 CARS GARAGE ROOF PLAN
1/8" = 1'-0" 2



8 CARS GARAGE FLOOR PLAN
1/8" = 1'-0" 1

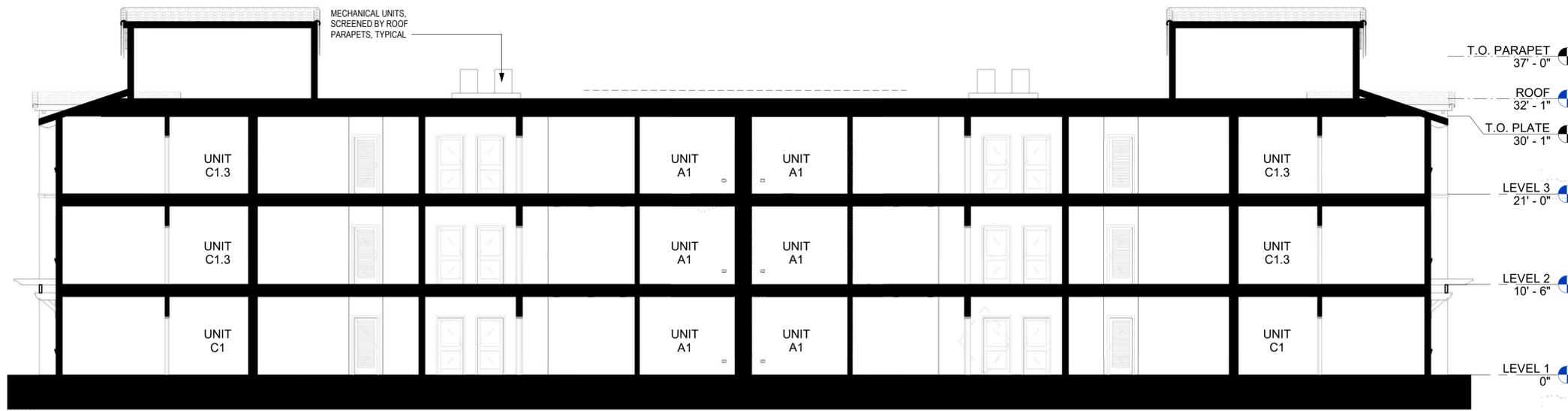


MECHANICAL UNITS,
SCREENED BY ROOF
PARAPETS, TYPICAL

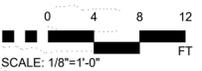


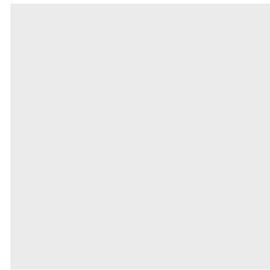
BUILDING SECTION - BLDG A | 2
1/8" = 1'-0"

MECHANICAL UNITS,
SCREENED BY ROOF
PARAPETS, TYPICAL



BUILDING SECTION - BLDG A | 1
1/8" = 1'-0"





1. CEMENT PLASTER - SW 9541 WHITE SNOW OR APPROVED EQUAL



2. ACCENT TRIM - SW 6110 STEADY BROWN OR APPROVED EQUAL



3. ACCENT TILE



4. CORONADO STONE VENETIAN VILLA - TEXAS CREAM OR APPROVED EQUAL



5. CONCRETE TILE ROOFING - EAGLE ROOFING PRODUCTS 3526 VALENCIA OR APPROVED EQUAL



6. WHITE VINYL WINDOWS

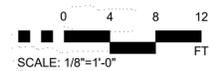


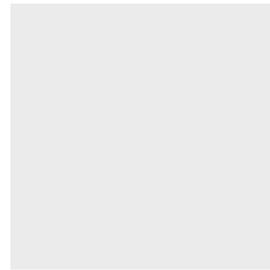
6. WOOD GRAIN FOAM CORBELS, COLUMNS AND BEAMS



- T.O. PARAPET 37'-0"
- ROOF 32'-1"
- T.O. PLATE 30'-1"
- LEVEL 3 21'-0"
- LEVEL 2 10'-6"
- LEVEL 1 0"

FRONT ELEVATION - BLDG A 1
1/8" = 1'-0"





1. CEMENT PLASTER - SW 9541 WHITE SNOW OR APPROVED EQUAL



2. ACCENT TRIM - SW 6110 STEADY BROWN OR APPROVED EQUAL



3. ACCENT TILE



4. CORONADO STONE VENETIAN VILLA - TEXAS CREAM OR APPROVED EQUAL



5. CONCRETE TILE ROOFING - EAGLE ROOFING PRODUCTS 3526 VALENCIA OR APPROVED EQUAL



6. WHITE VINYL WINDOWS

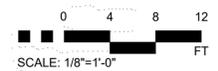


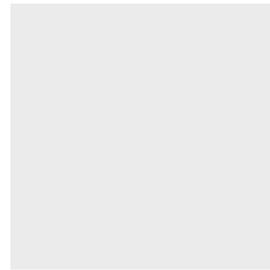
6. WOOD GRAIN FOAM CORBELS, COLUMNS AND BEAMS



- T.O. PARAPET 37'-0"
- ROOF 32'-1"
- T.O. PLATE 30'-1"
- LEVEL 3 21'-0"
- LEVEL 2 10'-6"
- LEVEL 1 0"

BACK ELEVATION - BLDG A | 1
1/8" = 1'-0"





1. CEMENT PLASTER -
SW 9541 WHITE
SNOW OR
APPROVED EQUAL

2. ACCENT TRIM -
SW 6110 STEADY
BROWN OR APPROVED
EQUAL

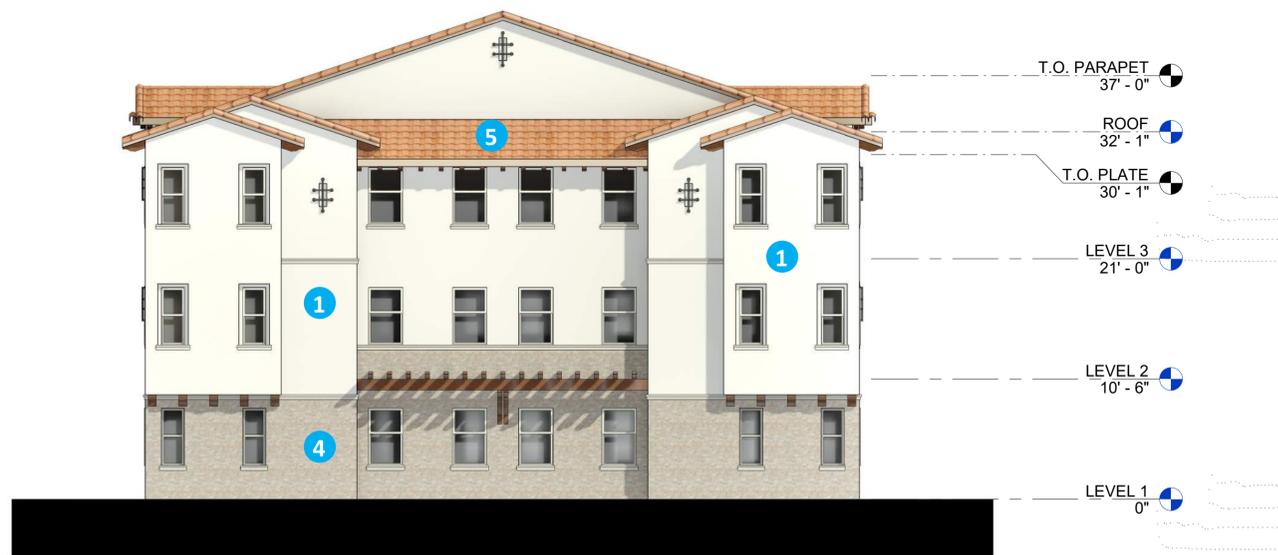
3. ACCENT TILE

4. CORONADO STONE
VENETIAN VILLA -
TEXAS CREAM OR
APPROVED EQUAL

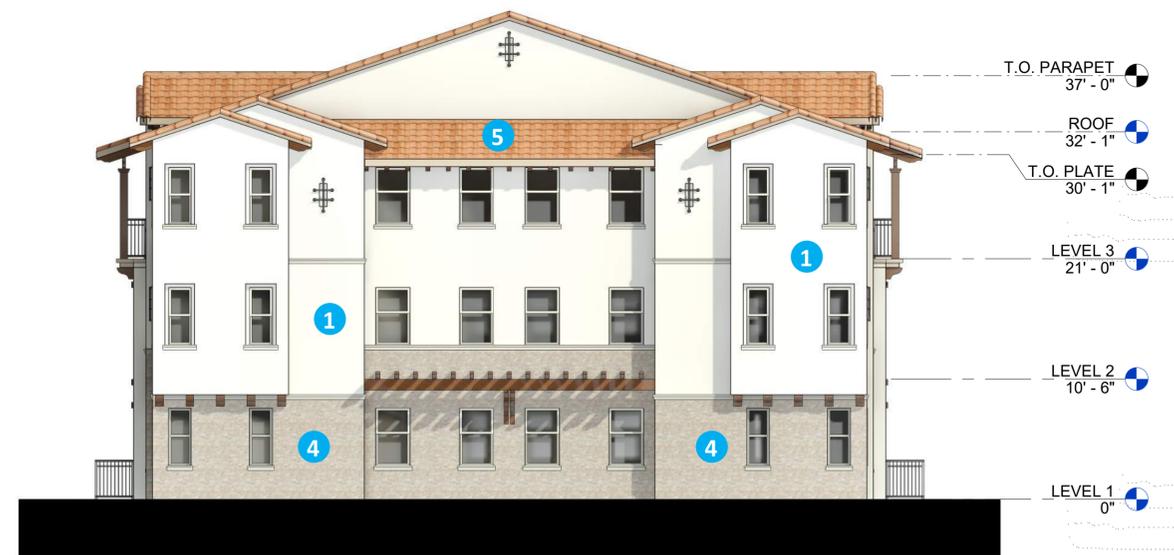
5. CONCRETE TILE
ROOFING -
EAGLE ROOFING
PRODUCTS
3526 VALENCIA OR
APPROVED EQUAL

6. WHITE VINYL
WINDOWS

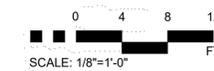
6. WOOD GRAIN FOAM
CORBELS, COLUMNS
AND BEAMS

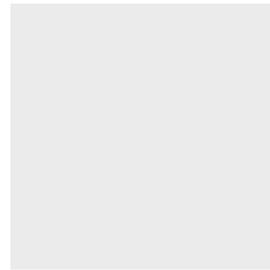


SIDE ELEVATION - BLDG A | 2
1/8" = 1'-0"



SIDE ELEVATION - BLDG A | 1
1/8" = 1'-0"





1. CEMENT PLASTER -
SW 9541 WHITE
SNOW OR
APPROVED EQUAL

2. ACCENT TRIM -
SW 6110 STEADY
BROWN OR APPROVED
EQUAL

3. ACCENT TILE

4. CORONADO STONE
VENETIAN VILLA -
TEXAS CREAM OR
APPROVED EQUAL

5. CONCRETE TILE
ROOFING -
EAGLE ROOFING
PRODUCTS
3526 VALENCIA OR
APPROVED EQUAL

6. WHITE VINYL
WINDOWS

6. WOOD GRAIN FOAM
CORBELS, COLUMNS
AND BEAMS



T.O. PARAPET
37'-0"

ROOF
32'-1"

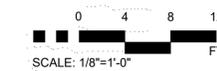
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30'-1"

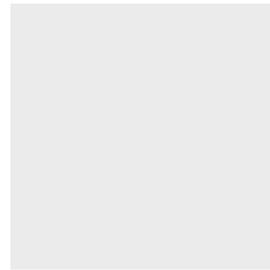
LEVEL 3
21'-0"

LEVEL 2
10'-6"

LEVEL 1
0"

FRONT ELEVATION - BLDG B | 2
1/8" = 1'-0"





1. CEMENT PLASTER -
SW 9541 WHITE
SNOW OR
APPROVED EQUAL

2. ACCENT TRIM -
SW 6110 STEADY
BROWN OR APPROVED
EQUAL

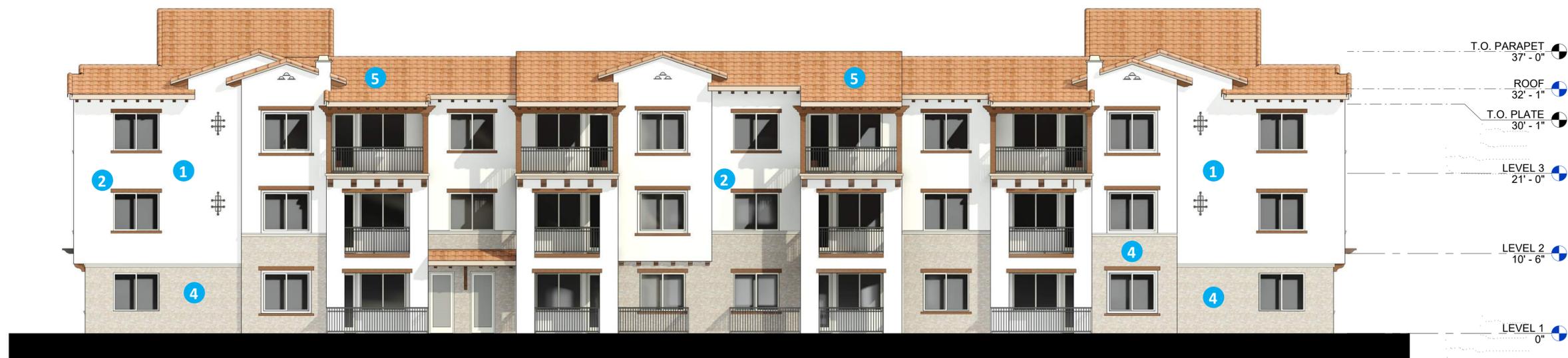
3. ACCENT TILE

4. CORONADO STONE
VENETIAN VILLA -
TEXAS CREAM OR
APPROVED EQUAL

5. CONCRETE TILE
ROOFING -
EAGLE ROOFING
PRODUCTS
3526 VALENCIA OR
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6. WHITE VINYL
WINDOWS

6. WOOD GRAIN FOAM
CORBELS, COLUMNS
AND BEAMS



T.O. PARAPET
37'-0"

ROOF
32'-1"

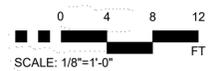
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30'-1"

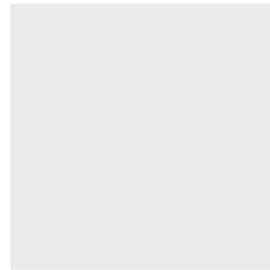
LEVEL 3
21'-0"

LEVEL 2
10'-6"

LEVEL 1
0"

BACK ELEVATION - BLDG B | 1
1/8" = 1'-0"





1. CEMENT PLASTER -
SW 9541 WHITE
SNOW OR
APPROVED EQUAL

2. ACCENT TRIM -
SW 6110 STEADY
BROWN OR APPROVED
EQUAL

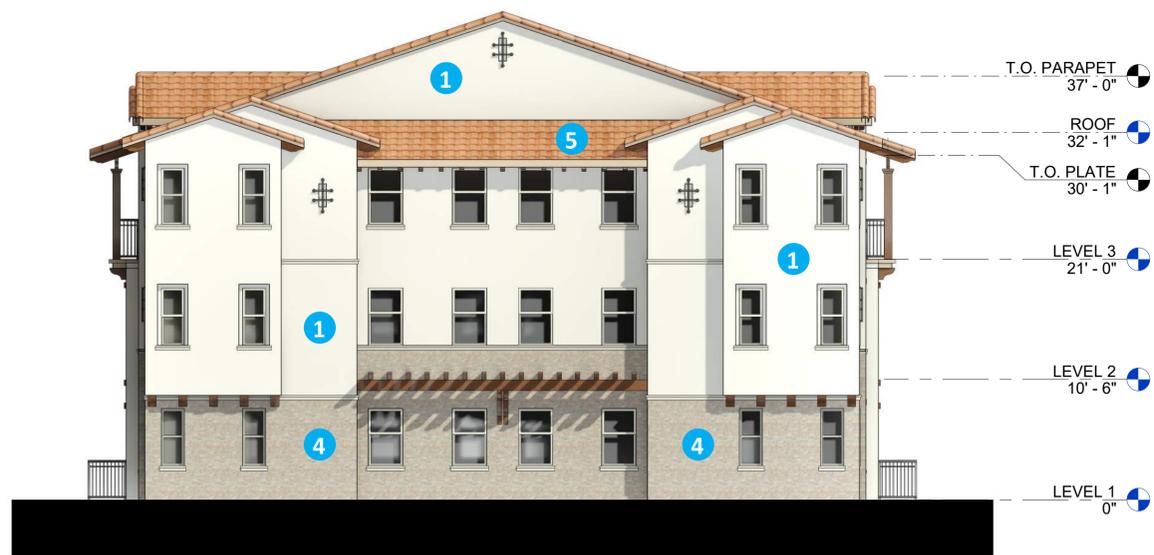
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4. CORONADO STONE
VENETIAN VILLA -
TEXAS CREAM OR
APPROVED EQUAL

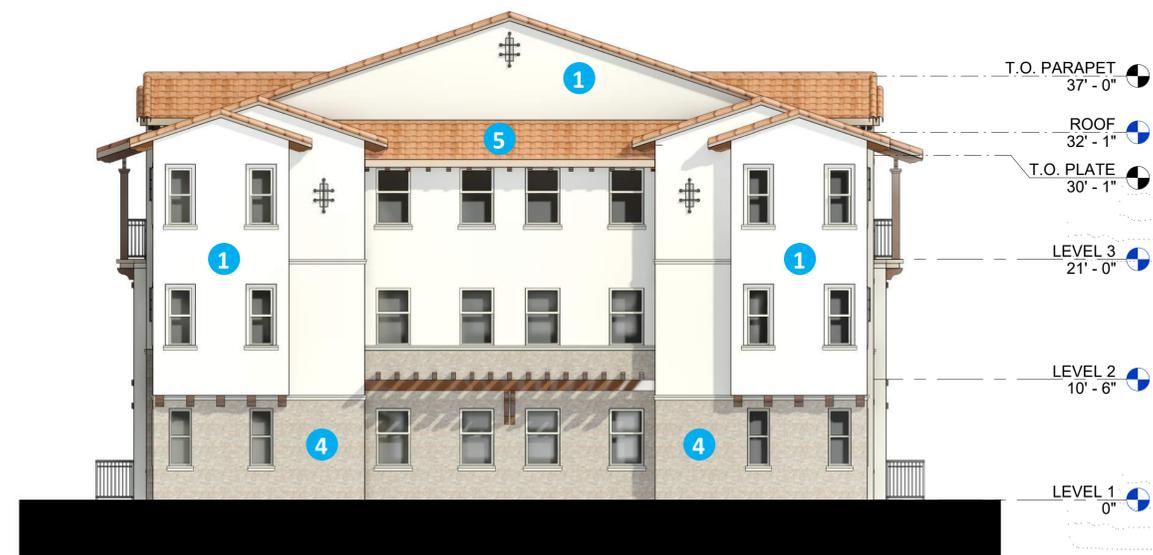
5. CONCRETE TILE
ROOFING -
EAGLE ROOFING
PRODUCTS
3526 VALENCIA OR
APPROVED EQUAL

6. WHITE VINYL
WINDOWS

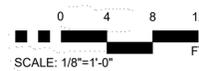
6. WOOD GRAIN FOAM
CORBELS, COLUMNS
AND BEAMS

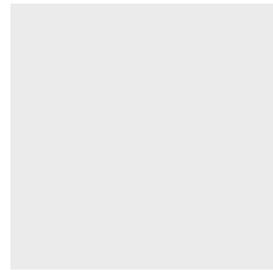


SIDE ELEVATIONS - BLDG B | 2
1/8" = 1'-0"



SIDE ELEVATION - BLDG B | 1
1/8" = 1'-0"





1. CEMENT PLASTER -
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SNOW OR
APPROVED EQUAL

2. ACCENT TRIM -
SW 6110 STEADY
BROWN OR APPROVED
EQUAL

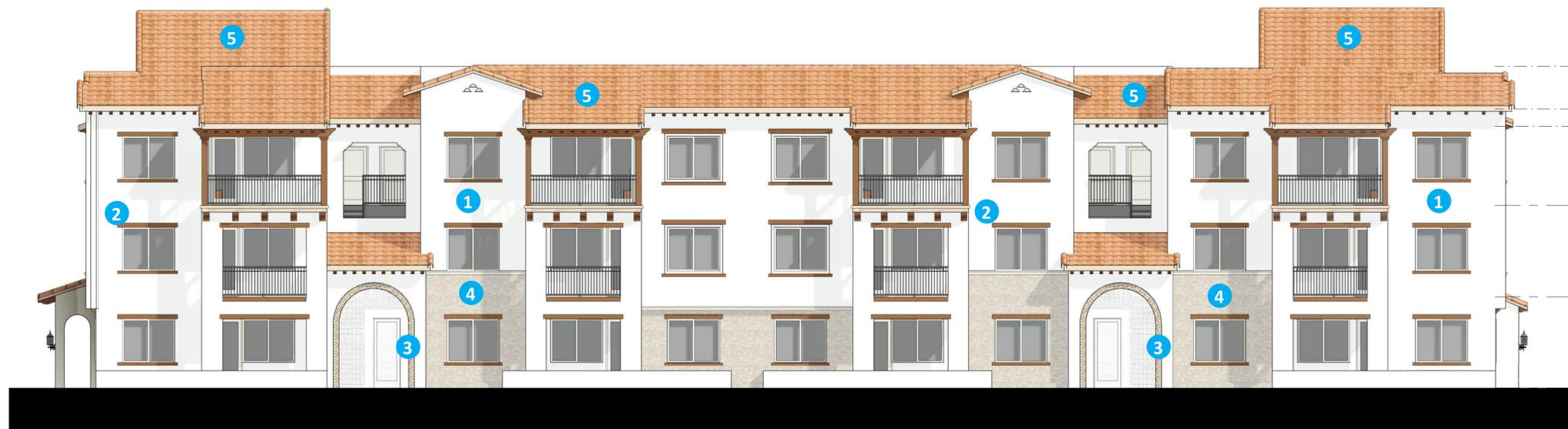
3. ACCENT TILE

4. CORONADO STONE
VENETIAN VILLA -
TEXAS CREAM OR
APPROVED EQUAL

5. CONCRETE TILE
ROOFING -
EAGLE ROOFING
PRODUCTS
3526 VALENCIA OR
APPROVED EQUAL

6. WHITE VINYL
WINDOWS

6. WOOD GRAIN FOAM
CORBELS, COLUMNS
AND BEAMS



T.O. PARAPET
37' - 0"

ROOF
32' - 1"

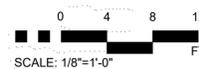
T.O. PLATE
30' - 1"

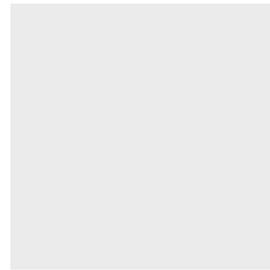
LEVEL 3
21' - 0"

LEVEL 2
10' - 6"

LEVEL 1
0"

FRONT ELEVATION - BLDG C | 1
1/8" = 1'-0"





1. CEMENT PLASTER -
SW 9541 WHITE
SNOW OR
APPROVED EQUAL

2. ACCENT TRIM -
SW 6110 STEADY
BROWN OR APPROVED
EQUAL

3. ACCENT TILE

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VENETIAN VILLA -
TEXAS CREAM OR
APPROVED EQUAL

5. CONCRETE TILE
ROOFING -
EAGLE ROOFING
PRODUCTS
3526 VALENCIA OR
APPROVED EQUAL

6. WHITE VINYL
WINDOWS

6. WOOD GRAIN FOAM
CORBELS, COLUMNS
AND BEAMS



T.O. PARAPET
37' - 0"

ROOF
32' - 1"

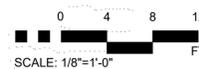
T.O. PLATE
30' - 1"

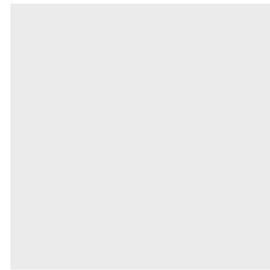
LEVEL 3
21' - 0"

LEVEL 2
10' - 6"

LEVEL 1
0"

BACK ELEVATION - BLDG C | 1
1/8" = 1'-0"





1. CEMENT PLASTER -
SW 9541 WHITE
SNOW OR
APPROVED EQUAL

2. ACCENT TRIM -
SW 6110 STEADY
BROWN OR APPROVED
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ROOFING -
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PRODUCTS
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WINDOWS

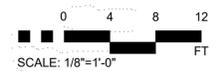
6. WOOD GRAIN FOAM
CORBELS, COLUMNS
AND BEAMS

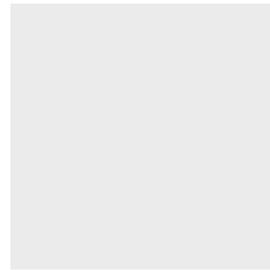


SIDE ELEVATION 2 - BLDG C | 2
1/8" = 1'-0"



SIDE ELEVATION - BLDG C | 1
1/8" = 1'-0"





1. CEMENT PLASTER -
SW 9541 WHITE
SNOW OR
APPROVED EQUAL

2. ACCENT TRIM -
SW 6110 STEADY
BROWN OR APPROVED
EQUAL

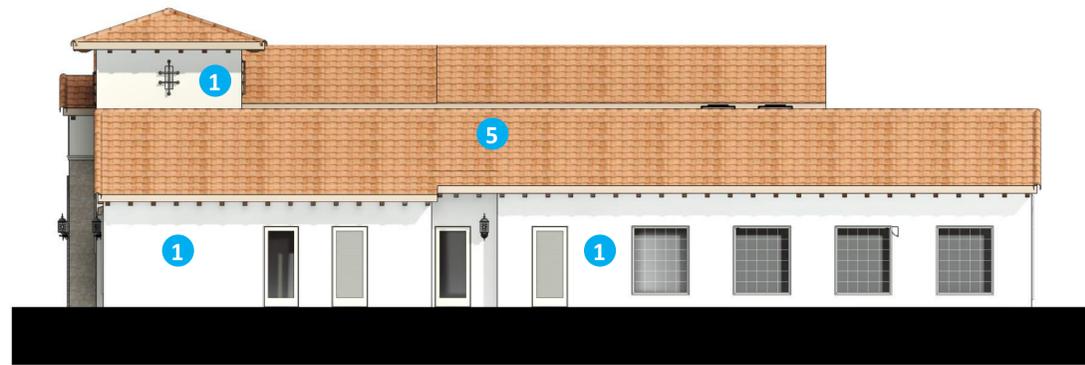
3. ACCENT TILE

4. CORONADO STONE
VENETIAN VILLA -
TEXAS CREAM OR
APPROVED EQUAL

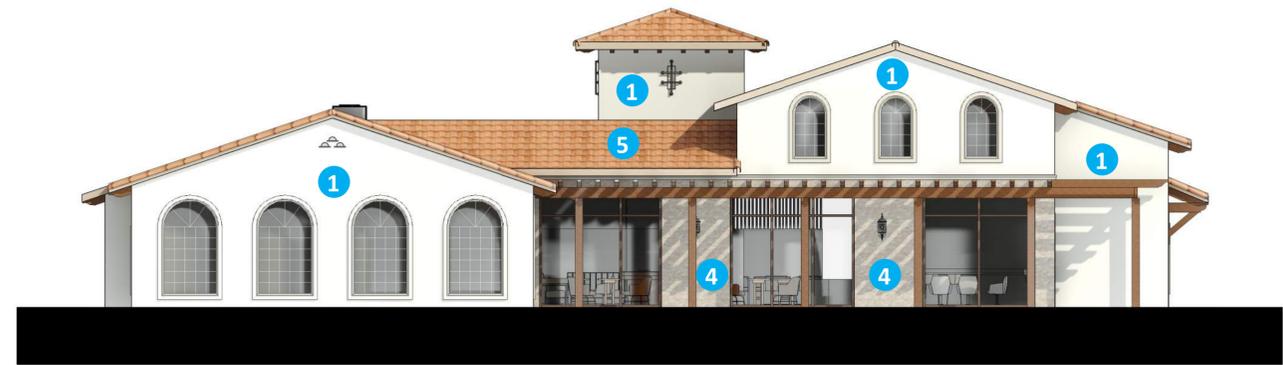
5. CONCRETE TILE
ROOFING -
EAGLE ROOFING
PRODUCTS
3526 VALENCIA OR
APPROVED EQUAL

6. WHITE VINYL
WINDOWS

6. WOOD GRAIN FOAM
CORBELS, COLUMNS
AND BEAMS



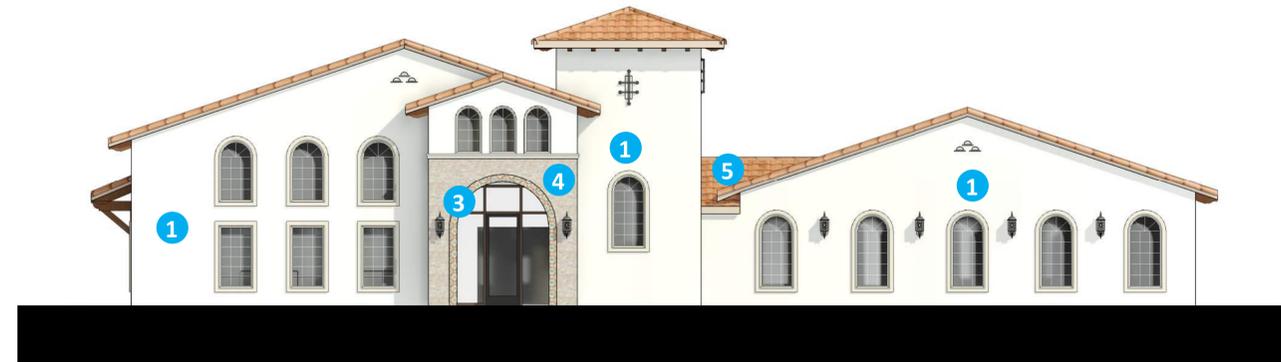
SIDE ELEVATION - CLUBHOUSE 2
1/8" = 1'-0" 4



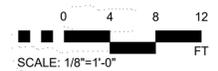
BACK ELEVATION - CLUBHOUSE 2
1/8" = 1'-0" 2

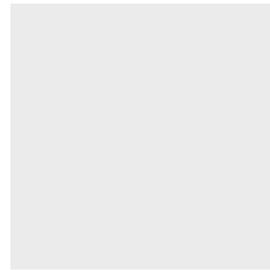


SIDE ELEVATION - CLUBHOUSE 1
1/8" = 1'-0" 3



FRONT ELEVATION - CLUBHOUSE 1
1/8" = 1'-0" 1





1. CEMENT PLASTER -
SW 9541 WHITE
SNOW OR
APPROVED EQUAL



2. ACCENT TRIM -
SW 6110 STEADY
BROWN OR APPROVED
EQUAL



3. ACCENT TILE



4. CORONADO STONE
VENETIAN VILLA -
TEXAS CREAM OR
APPROVED EQUAL



5. CONCRETE TILE
ROOFING -
EAGLE ROOFING
PRODUCTS
3526 VALENCIA OR
APPROVED EQUAL



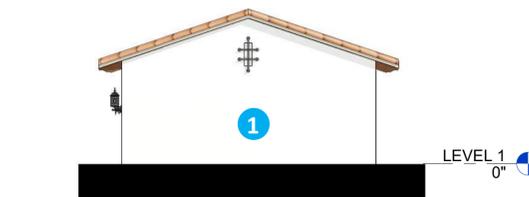
6. WHITE VINYL
WINDOWS



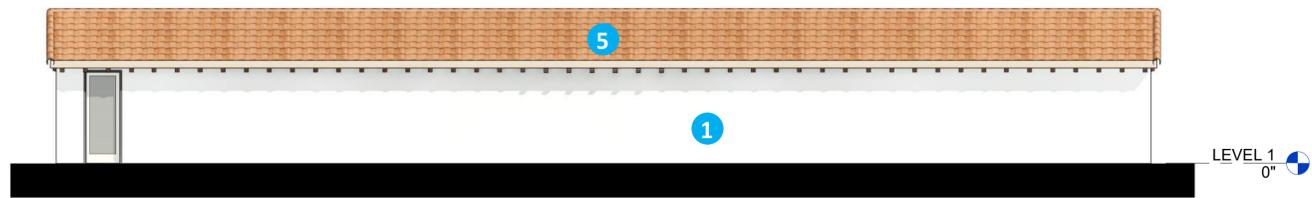
6. WOOD GRAIN FOAM
CORBELS, COLUMNS
AND BEAMS



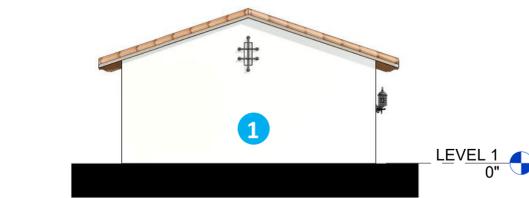
FRONT ELEVATION - DETACHED GARAGE 7
1/8" = 1'-0" 2



SIDE ELEVATION - DETACHED GARAGE 7
1/8" = 1'-0" 1



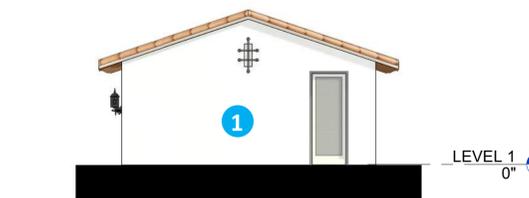
BACK ELEVATION - DETACHED GARAGE 7
1/8" = 1'-0" 4



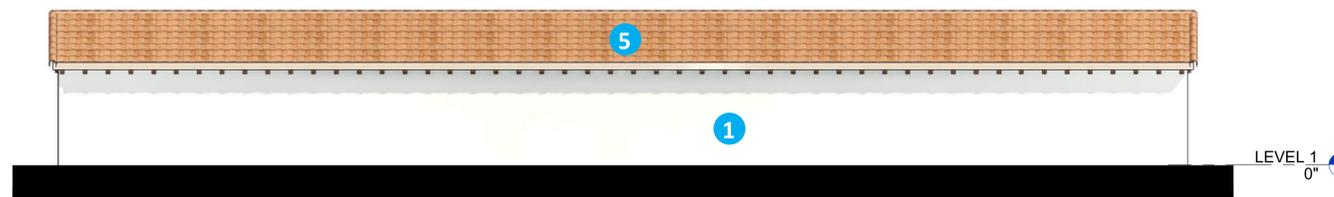
SIDE ELEVATION - DETACHED GARAGE 8
1/8" = 1'-0" 3



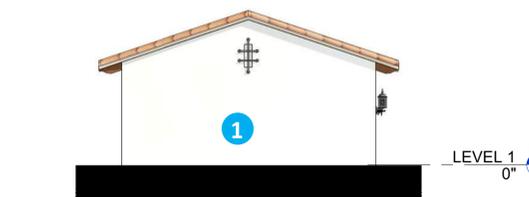
FRONT ELEVATION - DETACHED GARAGE 8
1/8" = 1'-0" 6



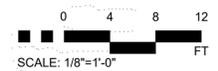
SIDE ELEVATION - DETACHED GARAGE 8
1/8" = 1'-0" 5

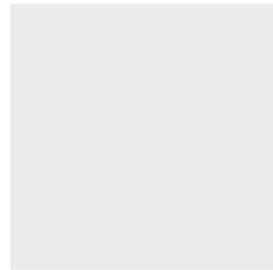


BACK ELEVATION - DETACHED GARAGE 8
1/8" = 1'-0" 8



SIDE ELEVATION - DETACHED GARAGE 8
1/8" = 1'-0" 7





1. CEMENT PLASTER -
SW 9541 WHITE
SNOW OR
APPROVED EQUAL



2. ACCENT TRIM -
SW 6110 STEADY
BROWN OR APPROVED
EQUAL



3. ACCENT TILE



4. CORONADO STONE
VENETIAN VILLA -
TEXAS CREAM OR
APPROVED EQUAL



5. CONCRETE TILE
ROOFING -
EAGLE ROOFING
PRODUCTS
3526 VALENCIA OR
APPROVED EQUAL



6. WHITE VINYL
WINDOWS



6. WOOD GRAIN FOAM
CORBELS, COLUMNS
AND BEAMS



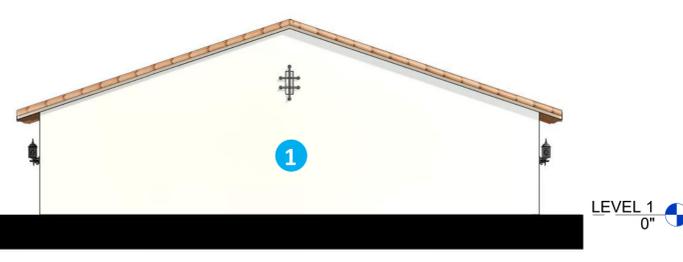
FRONT ELEVATION - POOL BUILDING | 6
1/8" = 1'-0"



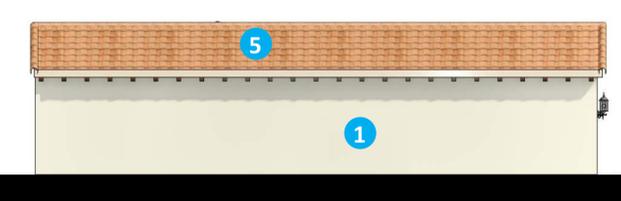
SIDE ELEVATION - POOL BUILDING | 5
1/8" = 1'-0"



FRONT ELEVATION - DETACHED GARAGE 16 | 2
1/8" = 1'-0"



SIDE ELEVATION 2 - DETACHED GARAGE 16 | 1
1/8" = 1'-0"



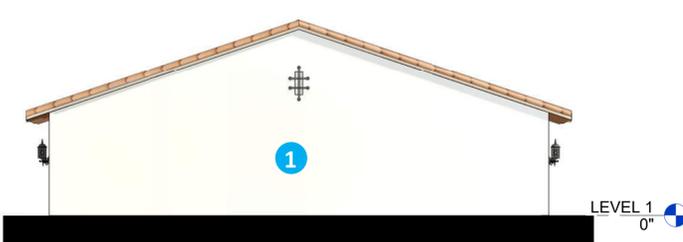
BACK ELEVATION - POOL BUILDING | 8
1/8" = 1'-0"



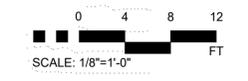
SIDE ELEVATION 2 - POOL BUILDING | 7
1/8" = 1'-0"



BACK ELEVATION - DETACHED GARAGE 16 | 4
1/8" = 1'-0"



SIDE ELEVATION - DETACHED GARAGE 16 | 3
1/8" = 1'-0"



WELO COMPLIANCE

This project has been designed to conform with the State's Model Water Efficient Landscape Ordinance (MWELO).

IRRIGATION DESIGN

The irrigation on the site will use drip irrigation, will meet the City's requirements, and will comply with the requirements of WELO. Equipment will include dedicated irrigation meter, smart controller, weather sensor, and efficient irrigation emitters, nozzles, and other equipment.

PLANTING DESIGN

The landscape design uses water-wise plant species suitable for this region and that are low maintenance and durable, uses trees to shade paved areas, and plants have been grouped into hydro-zones. References used for the landscape design include published information from the local jurisdiction, Sunset Western Garden Book and WUCOLS.

LANDSCAPE AREA CALCULATIONS

Total Site Area:	484,548 sf.
Total Landscape Area:	118,136 sf.
Turf area - SLA, group use:	8,144 sf (7%)
Planter Area:	86,531 sf (73%)
Bio-swale:	23,461 sf (20%)
Percentage of Total Site as Landscape:	25%

TREE MINIMUM REQUIREMENTS

- Parking lot and street trees, min. 30% of total to be evergreen species. Final species, location and quantity to be provided with the improvements plans and shall meet or exceed this minimum standard.
- 24" container: a minimum of 25% of the trees on this project will be 24" minimum container size. All trees will be minimum 15-gallon container size. The final species and location of the 24" container size trees will be provided with the improvements plans and shall meet or exceed this minimum standard.

ROOT BARRIER

Provide 24" deep linear root barrier at all trees located within 10'-0" of hardscape. Provide 12' of barrier at each required location, center on tree root ball. Root barrier shall be installed in linear fashion along the edge of hardscape; circular placement around the root ball will not be accepted and will be replaced at contractor's expense. Install per manufacturer's recommendations.

PARKING LOT SHADE CALCULATIONS

Shade area on plans is identified with the hatch symbol shown here and conforms to the municipality's guidelines. Tree diameters per species is based on published City documentation or the Sunset Western Garden Book.

Tree Type	Area at 100% (sf)	100%		75%		50%		25%		Subtotal
		sf	qty.	sf	qty.	sf	qty.	sf	qty.	
Parking Lot Shade Tree	962	0	0	11,544	16	1,924	4	4,329	18	17,797
Interior Shade Tree	962	0	0	0	0	0	0	722	3	722
Total shade provided by trees:										18,519
Shade provided by carports:										10,656
Total shade provided:										29,175
Parking area:										58,077
Percentage of shade provided (0.5 min. req'd):										0.50

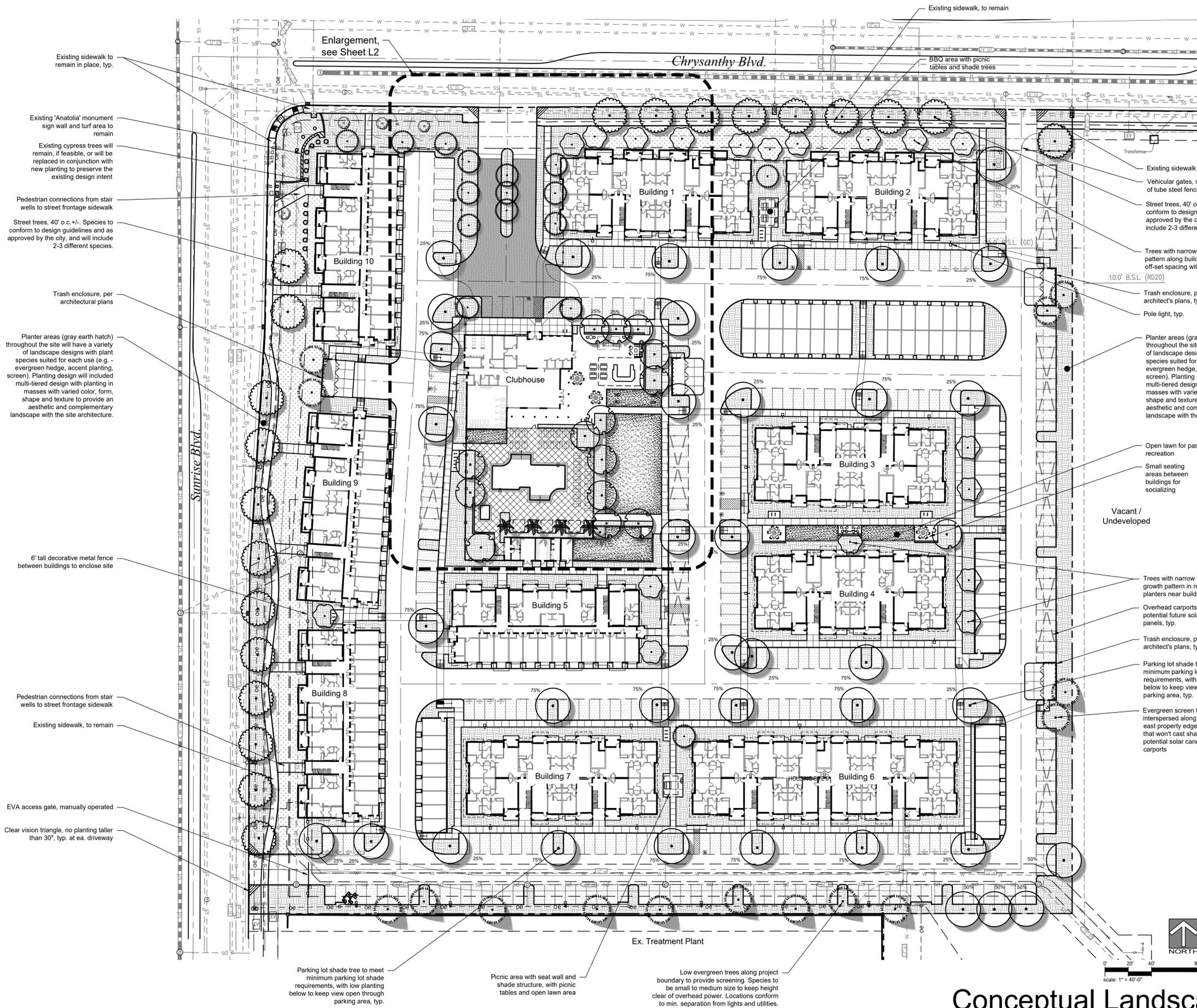
Existing landscape and street frontage improvements to remain. No new work in this area. Modify/adjust the existing irrigation system to provide continued watering throughout the length of construction of this project. Preserve and protect all landscape and built elements; restore any damage that occurs to existing elements to their current state, or as otherwise acceptable to the City.

PLANTING AREA

- Areas shown with this hatch will be designed to provide an aesthetic and functional landscape that enhances the project, complements the architecture, connects to the adjacent existing development, and provides comfort and interest to the residents and guests of the facility.
- Planting area will be designed with intent for the landscape (e.g. - accent planting to highlight entries or focal points; evergreen hedge for borders, foundation planting and screens; low planting to keep views open) as well as to complement the architecture.
- Planter areas will largely be irrigated landscape and will include shrubs and ground cover. Some areas of inert landscape may be included as well, such as decomposed granite, cobble, bark, or other inert material as approved by the City.
- All landscape planter areas will include a min. 3" layer of bark mulch.
- Pre-emergent is to be applied in all non-seeded landscape areas.
- A weed control layer will be included at all bark mulch and/or rock areas.

BIO-FILTRATION PLANTING AREA

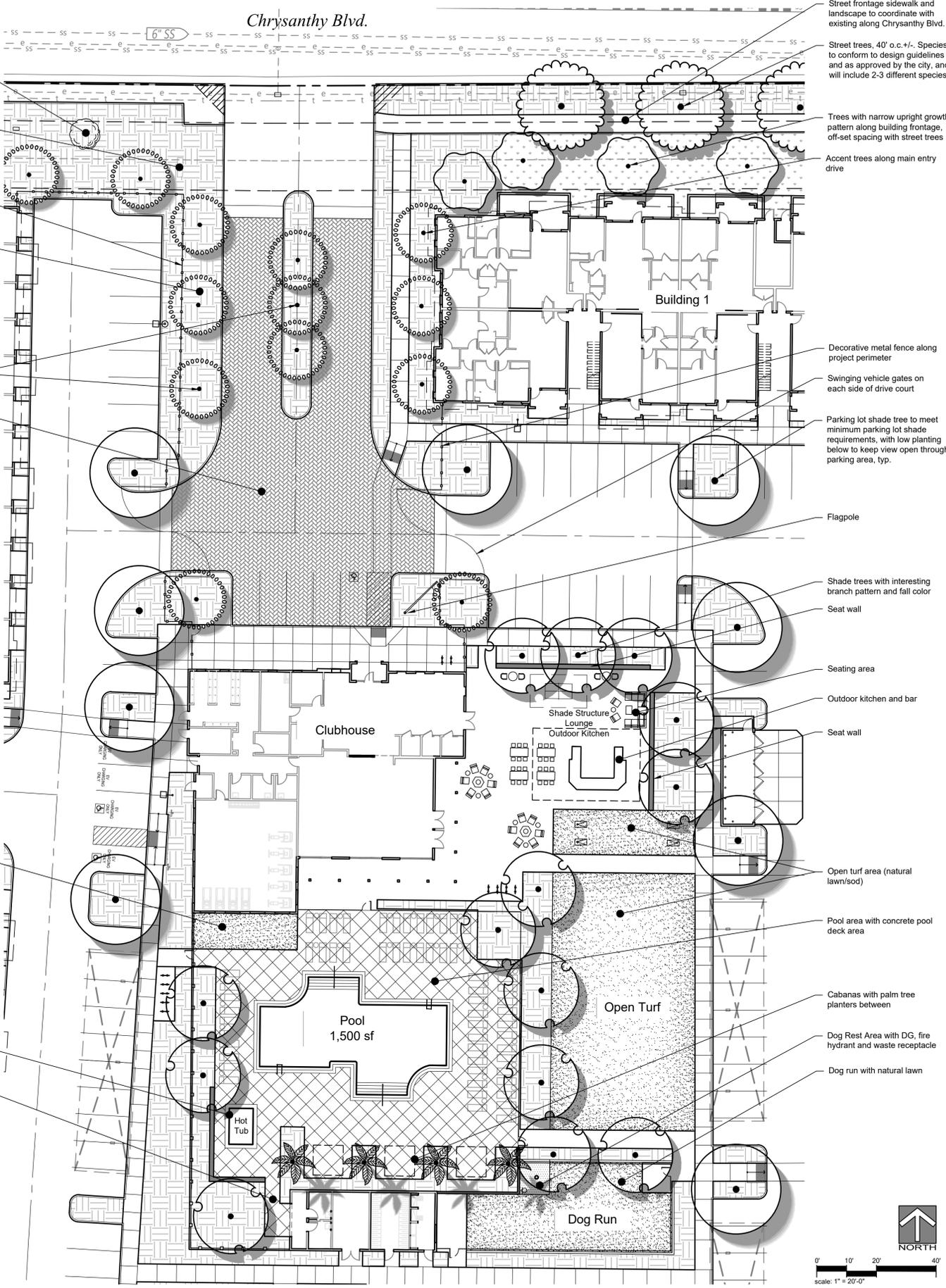
- Areas shown with this hatch will be designed to function in bio-swales.
- The planting in these areas will be a mix of grasses, grass-like plants, shrubs and ground covers.
- All species will conform to City or local standards and all will be able to accommodate infrequent inundation.
- Limits of these areas will be determined by the civil engineer's plans for locations and sizes of the bio-swales on this project. Areas not used as bio-swales in the final design will be planted to coordinate with the overall project landscape.



Conceptual Landscape Plan - Sheet L1



Chrysanthy Blvd.



PRELIMINARY PLANT PALETTE

The Preliminary Plant Palette represents a sampling of the types of plants selected for this project that are suitable for the location and design concept. Plants in the final plan will be selected from this list. Not all plants in the list below will be used and additional plants may be incorporated with the final plans, but the overall design concept represented will be maintained.

Trees

BOTANICAL NAME	COMMON NAME	SIZE	H x W or SPACING	WATER USE RATING
Street Trees				
<i>Pistacia chinensis</i> 'Keith Davey'	Chinese Pistache	15-gal	40'x35'	Low
<i>Platanus acerifolia</i> 'Columbia'	London Plane Tree	15-gal	50'x35'	Mod.
<i>Quercus shumardii</i>	Shumard Oak	15-gal	60'x40'	Low
<i>Ulmus parvifolia</i>	Chinese Evergreen Elm	15-gal	50'x40'	Mod.
Parking Lot Shade Trees				
<i>Ginkgo biloba</i> 'Magyar'	Magyar Maidenhair Tree	15-gal	40'x35'	Mod.
<i>Koeleria paniculata</i>	Goldenrain Tree	15-gal	35'x35'	Mod.
<i>Pistacia chinensis</i> 'Keith Davey'	Chinese Pistache	15-gal	40'x35'	Low
<i>Ulmus parvifolia</i>	Chinese Evergreen Elm	15-gal	50'x40'	Mod.
<i>Zelkova serrata</i>	Zelkova	15-gal	40'x35'	Mod.
Interior Shade Trees				
<i>Acer buergerianum</i>	Trident Maple	15-gal	35'x25'	Mod.
<i>Acer campestre</i>	Hedge Maple	15-gal	35'x30'	Mod.
<i>Cladrastis kentukea</i>	American Yellow Wood	15-gal	45'x40'	Mod.
<i>Ulmus parvifolia</i>	Chinese Evergreen Elm	15-gal	50'x40'	Mod.
<i>Zelkova serrata</i>	Zelkova	15-gal	40'x35'	Mod.
Evergreen / Screen Trees				
<i>Brachycton populneus</i>	Bottle Tree	15-gal	40'x30'	Low
<i>Laurus x 'Saratoga'</i>	Saratoga Laurel	15-gal	30'x20'	Low
<i>Pinus eldarica</i>	Afghan Pine	15-gal	50'x20'	Low
<i>Quercus virginiana</i>	Southern Evergreen Oak	15-gal	50'x50'	Low
<i>Schinus molle</i>	California Pepper Tree	15-gal	35'x35'	Low
Upright Accent Trees				
<i>Brachycton populneus</i>	Bottle Tree	15-gal	40'x25'	Low
<i>Carpinus betulus</i> 'Fastigiata'	Upright European Hornbeam	15-gal	40'x15'	Mod.
<i>Ginkgo biloba</i> 'Autumn Gold'	Autumn Gold Ginkgo	15-gal	45'x30'	Mod.
<i>Magnolia grandiflora</i> 'Galaxy'	Southern Magnolia	15-gal	30'x15'	Mod.
Accent Trees				
<i>Acer palmatum</i>	Japanese Maple	24" box	25'x15'	Mod.
<i>Cercis canadensis</i> 'Forest Pansy'	Redbud	24" box	20'x25'	Low
<i>Lagerstroemia</i> spp.	Crape Myrtle	24" box	20'x15'	Low
Vertical Evergreen				
<i>Cupressus sempervirens</i>	Italian Cypress	24" box	60'x5'	Mod.
Palm Trees				
<i>Syagrus romanzoffiana</i>	Queen Palm	24" box	40'x25'	Mod.
<i>Washingtonia x filibusta</i>	Hybrid Fan Palm	12" CTH	40'x15'	Mod.

Shrubs

BOTANICAL NAME	COMMON NAME	SIZE	H x W or SPACING	WATER USE RATING
Upright Evergreen Shrubs				
<i>Cupressus sempervirens</i> 'Tiny Towers'	Italian Cypress (dwarf)	15-gal	8'x2'	Low
<i>Juniperus scopulorum</i> var. Juniper	Juniper	15-gal	15'x4'	Low
<i>Juniperus virginiana</i> spp.	Juniper	15-gal	20'x3'	Low
<i>Podocarpus macrophyllus</i> 'maki'	Shrubby Yew Pine	15-gal	12'x3'	Mod.
<i>Thuja occidentalis</i>	Arborvitae	15-gal	12'x3'	Mod.
Medium Shrubs/ Screen Hedges				
<i>Arctostaphylos densiflora</i>	Manzanita	5-gal	6'x6'	Low
<i>Cotoneaster lacteus</i>	Cotoneaster	5-gal	7'x10'	Low
<i>Ligustrum japonicum</i> 'Texanum'	Privet	5-gal	6'x6'	Low
<i>Leucophyllum frutescens</i>	Texas Ranger	5-gal	7'x7'	Low
<i>Nerium oleander</i>	Oleander	5-gal	8'x8'	Low
<i>Olea europaea</i> 'Little Ollie'	Little Ollie Olive	5-gal	5'x5'	Very Low
<i>Pittosporum tobira</i> 'Variegata'	Variegated Pittosporum	5-gal	5'x5'	Mod.
<i>Xylosma congestum</i> 'Compacta'	Shiny Xylosma	5-gal	5'x5'	Low
Low Hedge				
<i>Callistemon viminalis</i> 'Little John'	Little John Bottlebrush	5-gal	3' x 3'	Low
<i>Ilex vomitoria</i> 'Nana'	Dwarf Yaupon Holly	5-gal	4' x 4'	Mod.
<i>Ligustrum japonicum</i> 'Texanum'	Privet	5-gal	4' x 4'	Low
<i>Nandina domestica</i> 'Compacta'	Heavenly Bamboo	5-gal	4' x 3'	Low
<i>Olea europaea</i> 'Little Ollie'	Little Ollie Olive	5-gal	5' x 5'	Low
<i>Rhaphiolepis indica</i>	India Hawthorn	5-gal	3' x 5'	Mod.
<i>Rhaphiolepis umbellata</i>	Yedda Hawthorn	5-gal	42" x 42"	Low
Medium Accent/ Flowering Shrub				
<i>Berberis thunbergii</i>	Japanese Barberry	5-gal	5' x 5'	Mod.
<i>Cistus purpureus</i>	Rockrose	5-gal	4' x 4'	Mod.
<i>Hemerocallis</i> spp.	Evergreen Daylily	5-gal	3'x3'	Low
<i>Lantana camara</i> /hybrid	Lantana	5-gal	2' x 5'	Low
<i>Pennisetum alopecuroides</i>	Fountain Grass	5-gal	3'x3'	Low
<i>Phormium tenax</i>	New Zealand Flax	5-gal	3' x 4'	Low
Low Accent/ Flowering Shrub				
<i>Dianella revoluta</i> 'Little Rev'	Flax Lily	5-gal	30"x30"	Low
<i>Hemerocallis</i> spp.	Evergreen Daylily	5-gal	3'x3'	Mod.
<i>Pennisetum alopecuroides</i> 'Little Bunny'	Fountain Grass	5-gal	2'x2'	Low
<i>Phormium tenax</i> var.	New Zealand Flax	5-gal	18" x 2'	Low
<i>Teucrium chamaedrys</i>	Germander	5-gal	1'x2' o.c.	Low
Low Shrub				
<i>Dielytes vegeta</i>	Fortnight Lily	5-gal	3' x 3'	Low
<i>Nandina domestica</i> 'Gulf Stream'	Heavenly Bamboo	5-gal	4'x3'	Low
<i>Pittosporum tobira</i> 'Wheeler's Dwarf'	Pittosporum	5-gal	2'x4'	Mod.
<i>Rhaphiolepis indica</i>	India Hawthorn	5-gal	3' x 5'	Mod.
Vines				
Climbing vines planter at existing CMU wall.				
<i>Ficus pumila</i>	Creeping Fig	1 gal.		Mod.
<i>Parthenocissus tricuspidata</i>	Boston Ivy	1 gal.		Mod.

Groundcovers

BOTANICAL NAME	COMMON NAME	SIZE	H x W or SPACING	WATER USE RATING
Ornamental Grass				
<i>Calamagrostis acutiflora</i> "KF"	Feather Reed Grass	1-gal	5' x 42"	Low
<i>Carex comans</i>	New Zealand Sedge	1-gal	12"x30"	Low
<i>Chondropetalum tectorum</i>	Cape Rush	1-gal	3'x4'	Low
<i>Muhlenbergia capillaris</i>	Pink Muhly	1-gal	3' x 6'	Low
<i>Muhlenbergia dubia</i>	Pine Muhly	1-gal	30" x 30"	Low
<i>Muhlenbergia rigens</i>	Deer Grass	1-gal	4' x 4'	Low
Bio-Filtration Swale Planting				
<i>Carex divulsa</i>	Sedge	1-gal	18"x24"	Low
<i>Juncus patens</i>	California Gray Rush	1-gal	24"x24"	Mod.
<i>Muhlenbergia dubia</i>	Pine Muhly	1-gal	30" x 30"	Low
<i>Muhlenbergia rigens</i>	Deer Grass	1-gal	4' x 4'	Low
Accent Groundcover				
<i>Dianella revoluta</i> 'Little Rev'	Flax Lily	1-gal	30"x30"	Low
<i>Hemerocallis</i> spp.	Evergreen Daylily	1-gal	3'x3'	Mod.
<i>Lantana montevidensis</i>	Trailing Lantana	1-gal	2'x5'	Low
<i>Liriope muscari</i>	Lily Turf	1-gal	18"x18"	Mod.
<i>Phormium tenax</i>	New Zealand Flax	1-gal	2' x 2'	Low
<i>Teucrium chamaedrys</i>	Germander	1-gal	24" o.c.	Low
<i>Trachelospermum jasminoides</i>	Star Jasmine	1-gal	2'x7'	Mod.
Spreading/ Low Groundcover				
<i>Baccharis pilularis</i>	Dwarf Coyote Brush	1-gal	60" o.c.	Low
<i>Cotoneaster dammeri</i> 'Lowfast'	Bearberry	1-gal	60" o.c.	Low
<i>Juniperus</i> spp.	Juniper	1-gal	60" o.c.	Low
<i>Myoporum parvifolium</i>	Myoporum	1-gal	60" o.c.	Low
<i>Teucrium chamaedrys</i>	Germander	1-gal	24" o.c.	Low
<i>Trachelospermum asiaticum</i>	Asian Jasmine	1-gal	48" o.c.	Mod.

LAWN
Natural turf, sod
Turf Sod Bolero Plus / Fescue blend

WATER EFFICIENT LANDSCAPE ORDINANCE WORKSHEET

Reference Evapotranspiration	50.3 in/yr	ETAF _{ref}	Maximum Allowed ETAF	0.45				
Hydro-zone (see desc. below)	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)	
Regular Landscape Areas ("RLA") - See Hydrozone Descriptions for Referenced Numbers								
Shrubs - Mod.	0.50	Drip	0.81	0.62	18,157 sf	11,208.02	349,533 gals	
Shrubs - Low	0.30	Drip	0.81	0.37	68,374 sf	25,323.70	789,745 gals	
Bioswale - Mod.	0.40	Drip	0.81	0.49	23,461 sf	11,585.68	361,311 gals	
					Sub-totals	109,992.00	48,117.41	1,500,589 gals
Special Landscape Areas ("SLA")								
SLA1				1.00	8,144 sf	8,144.00	253,979 gals	
					Sub-totals	8,144 sf	8,144.00	253,979 gals
					Total Landscape Area (RLA+SLA)	118,136 sf	56,261.41	
							ETWU Total	1,754,568 gals
							Maximum Allowed Water Allowance (MAWA)	1,797,574 gals
MAXIMUM ALLOWABLE WATER CALCULATION ("MAWA")								
MAWA	=	(ET _o)	(0.62)	[(ETAF x LA) + ((1-ETAF) x SLA)]				
1,797,574 gal/yr		50.3 in/yr	0.62	0.45	118,136 sf	0.55	8,144 sf	
ETAF CALCULATIONS								
Regular Landscape Area (RLA)				Max Allowed ETAF				
Total ETAF x RLA		48117.41						
Divided by Total RLA		109,992 sf						
Average ETAF (RLA)		0.44	0.45					
If Average ETAF is less than Max. Allowed ETAF the Project complies with WELO								

Conceptual Landscape Plan - Sheet L2



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